

**MOORE COUNTY PLANNING BOARD
THURSDAY, APRIL 7, 2022, 6:00 PM
MOORE COUNTY HISTORIC COURTHOUSE – 2nd FLOOR**

CALL TO ORDER – 6 PM

INVOCATION – (Member Volunteer)

PLEDGE OF ALLEGIANCE – (Member Volunteer)

MISSION STATEMENT – (Member Volunteer)

I. PUBLIC COMMENT PERIOD (*Procedures are attached*)
Please sign up on the Public Comment Sign In sheet near the door

I. APPROVAL OF CONSENT AGENDA
All items listed below are considered routine and will be enacted by one motion. No separate discussion will be held except by a member of the Planning Board:

- A. Approval of Meeting Agenda
- B. Approval of Minutes of March 3, 2022
- C. Consideration of Abstentions

II. PUBLIC HEARINGS

1. **Conditional Rezoning Request: Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ) – Jaimie Walters**
2. **Conditional Rezoning Request: Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ) – Jaimie Walters**
3. **General Use Rezoning: Residential and Agricultural-40 (RA-40) to Highway Commercial (B-2) – Jaimie Walters**

III. PLANNING DEPARTMENT REPORTS - Debra Ensminger

IV. BOARD COMMENT PERIOD - Chairman

V. UPCOMING EVENTS

- Tuesday, April 19, 2022, 5:30 PM Board of Commissioners Meeting to be held at the Historic Courthouse in Carthage
- Tuesday, May 3, 2022, 10:30 AM Board of Commissioners Meeting to be held at the Historic Courthouse in Carthage
- **Thursday, May 7, 2022, 6:00 PM Planning Board Meeting to be held at the Historic Courthouse in Carthage**

VI. ADJOURNMENT

*Special accommodations for individuals with disabilities or impairments will be made upon request to the extent that reasonable notice is **given** to the County.*

Please see attached procedures for the Public Comment Period and public comment during Public Hearing

**PUBLIC COMMENT PROCEDURES
MOORE COUNTY PLANNING BOARD**

The Moore County Planning Board is committed to allowing members of the public an opportunity to offer comments and suggestions for the efficient and effective administration of government. In addition to public hearings, a special time is set aside for the purpose of receiving such comments and suggestions. All comments and suggestions addressed to the Board during the Public Comment Period shall be subject to the following procedures:

- 1. The Public Comment period will be held at the beginning of the Board meeting. The comment period will be limited to a maximum of thirty minutes*
- 2. Persons who wish to address the Board during the Public Comment Period will register on a sign-up sheet available on the table outside the entrance door to the Meeting Room indicating contact information and topic. Sign-up sheets will be available beginning 30 minutes before the start of the meeting. No one will be allowed to have his/her name placed on the list by telephone request to County Staff.*
- 3. Each person signed up to speak will have three (3) minutes to make his/her remarks. Each person signed up to speak will only be entitled to the time allotted to each speaker and one additional time period which may be yielded to him/her by another individual who has also signed up to speak on a particular topic.*
- 4. Speakers will be acknowledged by the Board Chairperson in the order in which their names appear on the sign-up sheet. Speakers will address the Board from the lectern at the front of the room and begin their remarks by stating their name and address.*
- 5. Public comment is not intended to require the Board to answer any impromptu questions. Speakers will address all comments to the Board as a whole and not one individual member. Discussions between speakers and members of the audience will not be allowed.*
- 6. Speakers will be courteous in their language and presentation. Matters or comments which are harmful, discriminatory or embarrassing to any citizens, official or employee of Moore County shall not be allowed. Speaker must be respectful and courteous in their remarks and must refrain from personal attacks and the use of profanity.*
- 7. Only one speaker will be acknowledged at a time. If the time period runs out before all persons who have signed up get to speak, those names will be carried over to the next Public Comment Period.*
- 8. Any applause will be held until the end of the Public Comment Period.*
- 9. Speakers who have prepared written remarks or supporting documents are encouraged to leave a copy of such remarks and documents with the Chairperson.*
- 10. Information sheets outlining the process for the public's participation in Board meetings will also be available in the rear of the Meeting Room.*
- 11. Action on items brought up during the Public Comment Period will be at the discretion of the Board.*

Adopted on the 4th day of February, 2010 by a 8 to 1 vote of the Moore County Planning Board.

**MOORE COUNTY PLANNING BOARD
PUBLIC HEARINGS PROCEDURES**

The Moore County Planning Board serves the public as well as the Board of Commissioners. During each public hearing a special time has been set aside for the purpose of receiving comments and suggestions. To insure that comments and suggestions are productive and not unnecessarily long, procedural rules for conducting public hearings are necessary. The following procedural rules will be utilized during public hearings of the Moore County Planning Board:

- 1. Anyone who would like to address the Board during a public hearing should register on the appropriate sign-up sheet indicating their name and address. Sign-up sheets will be available on the table outside the entrance door to the Meeting Room 30 minutes before the start of the meeting. Information sheets outlining the process for the public's participation in Board meetings and public hearings will also be available. No one will be allowed to have his/her name placed on the list by telephone request to County Staff.*
- 2. Each speaker will be called by the Chairman to the lectern, will state their name and address clearly into the record before providing their comments.*
- 3. Speakers will address all comments to the Board as a whole and not to any one individual member. Speakers will be respectful, courteous, refrain from personal attacks and the use of profanity.*
- 4. Any applause will be held until the end of the public hearing.*
- 5. Speakers who have prepared written remarks or supporting documents are encouraged to leave a copy of such remarks and documents with the Secretary.*
- 6. Action on items brought up during the public hearing will be at the discretion of the Board.*

Adopted on the 5th day of May, 2011 by a 9 to 0 vote of the Moore County Planning Board

**MINUTES
MOORE COUNTY PLANNING BOARD
THURSDAY, MARCH 3, 2022, 6:00 PM
MOORE COUNTY HISTORIC COURTHOUSE – 2nd FLOOR**

Board Members Present:

Joe Garrison (Chairman), Jeffrey Gilbert, Bobby Hyman, Tucker McKenzie, Farrah Newman, Amy Lynn

Board Members Absent:

John McLaughlin

Staff Present:

Debra Ensminger, Planning Director; Stephanie Cormack, Admin Officer; Jaimie Walters, Senior Planner; Tron Ross, Associate County Attorney

CALL TO ORDER

Chairman Joe Garrison called the meeting to order at 6:00 pm.

INVOCATION

Chairman Joe Garrison offered the invocation.

PLEDGE OF ALLEGIANCE

Chairman Joe Garrison led in citing of the Pledge of Allegiance.

MISSION STATEMENT

Vice Chair Bobby Hyman read the Moore County Mission Statement.

PUBLIC COMMENT PERIOD

The following individuals signed up to speak during the public comment period.

- Debra D'Angelo; 333 Major Rd., Carthage NC. See attached Exhibit A of Ms. D'Angelo comments for record.

APPROVAL OF THE CONSENT AGENDA

- A. Approval of Meeting Agenda
- B. Approval of Minutes of January 6, 2022
- C. Consideration of Abstentions

Vice Chair Bobby Hyman made a motion for approval of the consent agenda and approval of the minutes of January 6, 2022, meeting. Board Member Amy Lynn seconded the motion and the motion passed unanimously 6-0.

PUBLIC HEARING

Public Hearing #1 – Conditional Rezoning Request: Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ) – Beulah Hill Church Rd. – Jaimie Walters

Senior Planner Jaimie Walters presented a request by Cellco Partnership d/b/a Verizon Wireless is requesting a Conditional Rezoning from Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ) to construct a 195' monopole tower for a Wireless Communication Facility on an approximately 0.23-acre portion of one parcel of approximately 677.65 acres located on Beulah Hill Church Road, owned by Hainoa, LLC, per Deed Book 4904 Page 237 and further described as ParID 00026293 in Moore County Tax Records.

Mrs. Walters went over the items within the packet regarding the request, explaining the rezoning request is only for a use of the tower and no additional structures.

With no further questions from the board, Chairman Garrison opened the Public Hearing.

Chairman Garrison asked if there would be a bond included with this submittal.

Mrs. Walters confirmed a bond is required with the application submittal.

Chairman Garrison inquired about the access point and how far off of Beulah Hill Church Rd would it be.

Mrs. Walters confirmed there would be a new access road which would be approximately 300 feet from Beulah Hill Church Rd. to include a buffer composed of existing vegetation as well as fencing.

Board Member Gilbert inquired if there were any churches within a mile of the request.

Mrs. Walters could not confirm however could verify there were no churches adjacent to the property.

The following have signed up to speak during the Public Hearing.

- Victoria Farmer; Verizon Representative from Tennessee
 - Ms. Farmer explained the need for a tower is to fill a known coverage gap and improve network, the tower is designed for 4 other providers besides Verizon.
 - The location determination was established by current tower locations and property availability which was conducted by a research group.
 - The lease will be for 30 years in which Verizon will provide any upkeep needed.
 - The tower is not a 5G tower however will have 5G capability and any future network needs as technology changes.

- James Bell; 1909 Vass Carthage Rd. Carthage, adjacent property owner
 - Mr. Bell feels this is a great need and could benefit many in the area.

With no further discussion or public comment Chairman Garrison closed the Public Hearing.

With no further comments Board Member Amy Lynn made a motion to approve the attached Moore County Planning Board Land Use Plan Consistency Statement and authorize its chairman to execute the document as required by North Carolina General Statute 160D-604. The motion was seconded by Vice Chair Bobby Hyman; the motion passed unanimously 6-0.

Vice Chair Bobby Hyman made a motion to recommend approval to the Moore County Board of Commissioners of the Conditional Rezoning from Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ) to construct a 195' monopole tower for a Wireless Communication Facility on an approximately 0.23-acre portion of one parcel of approximately 677.65 acres located on Beulah Hill Church Road, owned by Hainoa, LLC, per Deed Book 4904 Page 237 and further described as ParID 00026293 in Moore County Tax Records; The motion was seconded by Board Member Farrah Newman; the motion passed unanimously 6-0.

PLANNING DEPARTMENT REPORTS

Ms. Ensminger reminded the board there would be a meeting on April 7th.

BOARD COMMENT PERIOD

Chairman Garrison thanked Moore County staff for all their hard work.

ADJOURNMENT

With no further comments Vice Chair Bobby Hyman made a motion to adjourn the March 3, 2022, regular meeting. The motion was seconded by Board Member Amy Lynn; meeting adjourned at 6:35 p.m., the motion passed unanimously 6-0.

Respectfully submitted by,

Stephanie Cormack

March 3, 2022 Debra D'Angelo 333 Major Rd. Carthage (908) 672-9439

RE: Operation of Contractor business in RA-40 area in Major Sands, 315 Major Rd.
Operation of landfill and land clearing and other debris management facility without permit at 315 Major Rd.

Zoning Complaints started October 4, 2021 made by next door neighbor Debra D'Angelo
333 Major Rd, (also owns two other vacant lots in Major Sands) against

Stocum Contracting LLC, Erin Stocum, Lewis Jacob Stocum, LLC

License application lists 315 Major Rd. as address for business.

Operating contractor Yard in Major Sands at 315 Major Rd.'

Zoning = RA -40

Contractor Yard not permitted.

Rudy's Home Improvement - Rudy Breighner of 269 Major Rd., adjacent property, is part of the
business and routinely dumps land clearing debris at 315 Major Rd.

These businesses are also operating landfill and debris management facility at 315 Major Rd.
without permit.

Advertise mulch for sale, mulching operations performed at 315 Major Rd.

Assault & Battery on January 6, 2022, in which neighbor Debra D'Angelo while walking her dogs
past 315 Major Rd, had her nose and cheekbone broken by an employee of Stocum
Contracting.

Ms. D'Angelo had to move out of her house due to constant threats and physical assaults due to
the conflict over the operation of the out of compliance contracting business.

After serious injury reported to Joel Strickland, a letter was sent on January 13, 2022 informing
Ms. Roberts, property owner and wife of Lewis Jacob Stocum, both agents of Stocum
Contracting LLC, that the operation of the contractor yard is in violation of zoning per Section
8.96 of the Unified Development Ordinance.

To date, dumping of land clearing debris and operation of Stocum Contracting and business by
Rudy Breighner continues at 315 Major Rd.

Photos and videos of land clearing debris being dumped within the past week are available.

This is the second time huge piles of debris have been stacked up on the property. The last
piles were burned for over a week on the premises.

MEMORANDUM TO THE PLANNING BOARD

FROM: Debra Ensminger
Planning and Inspections Director

DATE: March 4, 2022

SUBJECT: Conditional Rezoning Request: Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ) – Cool Springs Rd

PRESENTER: Jaimie Walters

REQUEST

Milestone Towers LPIV is requesting a Conditional Rezoning from Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ) to construct a 255' self-support lattice tower for a Wireless Communication Facility on an approximately 0.11-acre portion of one parcel of approximately 139.23 acres located on Cool Springs Road, owned by Jordan Three, LLC, per Deed Book 4092 Page 40 and further described as ParID 00003428 in Moore County Tax Records.

Public notification consisted of publishing a legal notice in the local newspaper for two consecutive weeks, notification by mail to adjacent property owners, and placing public hearing signs on the property.

BACKGROUND

The entire parent property is undeveloped timberlands. Adjacent properties include agricultural uses and undeveloped properties.

While the parcel does have some freshwater forested/shrub wetlands, none are located within the rezoning area. The parcel is within a half-mile of a Voluntary Agricultural District. The parcel is also within the AE – 1% (100-year) Flood Zone, however the rezoning area, while not in the flood zone, is adjacent to the flood line. The submitted application meets all of the UDO requirements in Section 8.101 (Wireless Communications Facility).

COMMUNITY MEETING

The community meeting was conducted at the Moore County Sports Complex Multi-Purpose Room on March 16, 2022, between 6:00pm and 7:00pm. Adjacent properties were notified by certified return receipt mail, sent on March 3, 2022. Please refer to attached report for more details.

CONDITIONAL ZONING (CZ)

Conditional rezoning affords a degree of certainty in land use decisions not possible when rezoning to a general district. Conditional Zoning Districts are established to provide for flexibility in the development of property while ensuring that the development is compatible

with neighboring uses. Pursuant to NCGS 160D-703, conditional zoning districts requires the approval of a rezoning by the Moore County Board of Commissioners and approval of a site-specific development plan allowing for the development of specific land uses.

Parallel conditional zoning districts are restricted to those uses (meaning either one or multiple uses) listed in the corresponding general use zoning district.

The request shall be in compliance with all relevant portions of the UDO, except that variations from these standards may be approved by the Board of Commissioners if the site plan is submitted and determined to be suitable for the request, is consistent with the intent of the standards, and ensures compatibility with land uses on surrounding properties.

Specific additional conditions applicable to the rezoning request may be proposed by the applicant, the Planning Board, or Board of Commissioners. Only those conditions mutually approved by the county and the applicant may be incorporated into the permit requirements. If a proposed condition is unacceptable to the owner, the petition can be withdrawn, and the proposed rezoning cannot go forward. Likewise, if a condition is unacceptable to the Board of Commissioners, the petition can be denied and there is no rezoning.

Per NCGS 160D-703(b), conditions and site-specific standards shall be limited to those that address the conformance of development and use of the site to County ordinances and officially adopted plans and those that address the impacts reasonably expected to be generated by the development or use of the site.

ZONING DISTRICT COMPATIBILITY

The requested rezoning to Rural Agricultural Conditional Zoning (RA-CZ) is consistent with the existing uses located near the property, including agricultural uses, as the underlying zoning district will remain Rural Agricultural (RA). The surrounding area is zoned Rural Agricultural (RA).

CONSISTENCY WITH THE 2013 MOORE COUNTY LAND USE PLAN

The future land use map identifies the property as Rural Agricultural Classification. The requested zoning to Rural Agricultural Conditional Zoning (RA-CZ) is compatible with the Rural Agricultural Land Use Classification as the underlying district will remain Rural Agricultural (RA) and the request is limited to the wireless communication facility use. Wireless Communication Facility service is in demand in a largely rural area.

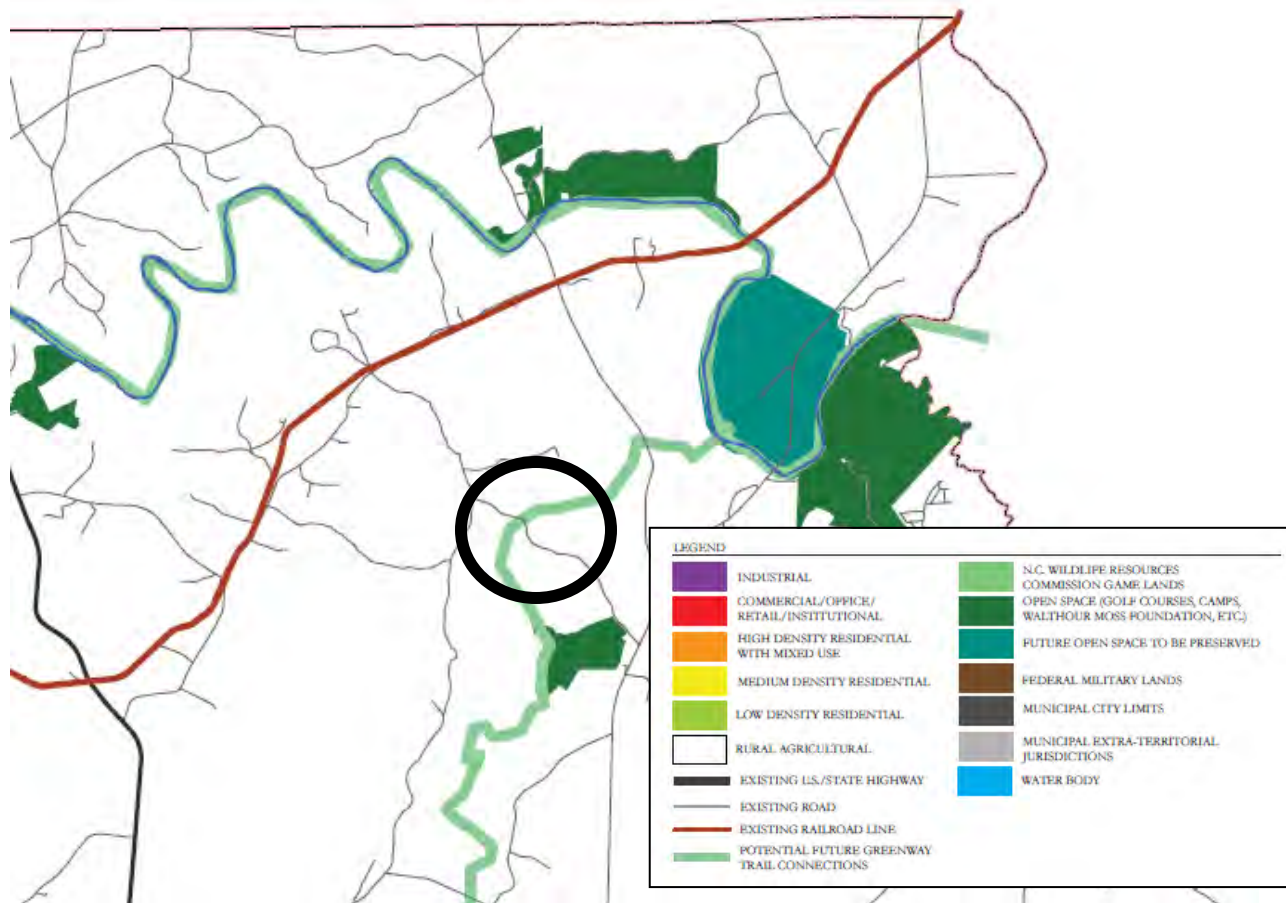
The Land Use Plan states the primary use of the Rural Agricultural Land Use Classification is to support rural residential life associated with agricultural uses (e.g., row crops, forestry, horticulture, grazing, poultry, dairy, swine operations, and intensive agricultural uses in certain areas) and other rural activities.

The Moore County Unified Development Ordinance states the Rural Agricultural (RA) district is intended to encourage the continuance of agricultural uses as well as to ensure that residential development of appropriate intensities that are consistent with the suitability of land, availability of public services, and that are compatible with surrounding development, will occur at appropriate densities to provide a healthful environment. The RA District is also intended to accommodate rural commercial activities where the use of site-specific development plans,

individualized development conditions, vegetative buffers, larger lots, and the compatibility of adjacent land uses are considered to provide suitable locations for rural commerce and other rural activities.

The rezoning request aligns with the following recommendation as included in the attached Land Use Plan Consistency Statement, including Action 1.5.2: Support new developments that utilize existing or implement planned infrastructure that most economically preserves open space and important historical, natural and cultural features.

MOORE COUNTY FUTURE LAND USE MAP



RECOMMENDATION

Staff recommends the Moore County Planning Board make two separate motions:

Motion #1: Make a motion to adopt the attached **Approval** or **Denial** Moore County Planning Board Land Use Plan Consistency Statement and authorize its Chairman to execute the document as required by North Carolina General Statute 160D-604.

Motion #2: Make a motion to recommend **Approval** or **Denial** to the Moore County Board of Commissioners of the Conditional Rezoning from Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ) to construct a 255' self-support lattice tower for a Wireless *Cool Springs Road – Conditional Rezoning – Staff Report*

Communication Facility on an approximately 0.11-acre portion of one parcel of approximately 139.23 acres located on Cool Springs Road, owned by Jordan Three, LLC, per Deed Book 4092 Page 40 and further described as ParID 00003428 in Moore County Tax Records.

ATTACHMENTS

- Pictures of Property and Adjacent Properties
- Vicinity Map
- Land Use Map
- Rezoning Map
- Planning Board Consistency Statement – Approval
- Planning Board Consistency Statement – Denial
- Submitted Conditional Rezoning Application
- Submitted Wireless Communications Facilities Application
- Submitted Site Specific Development Plan
- Community Meeting Report
- Deed Book 4092 Page 40

Subject Property



View of Subject Property along Cool Springs Rd.





Adjacent property – Undeveloped



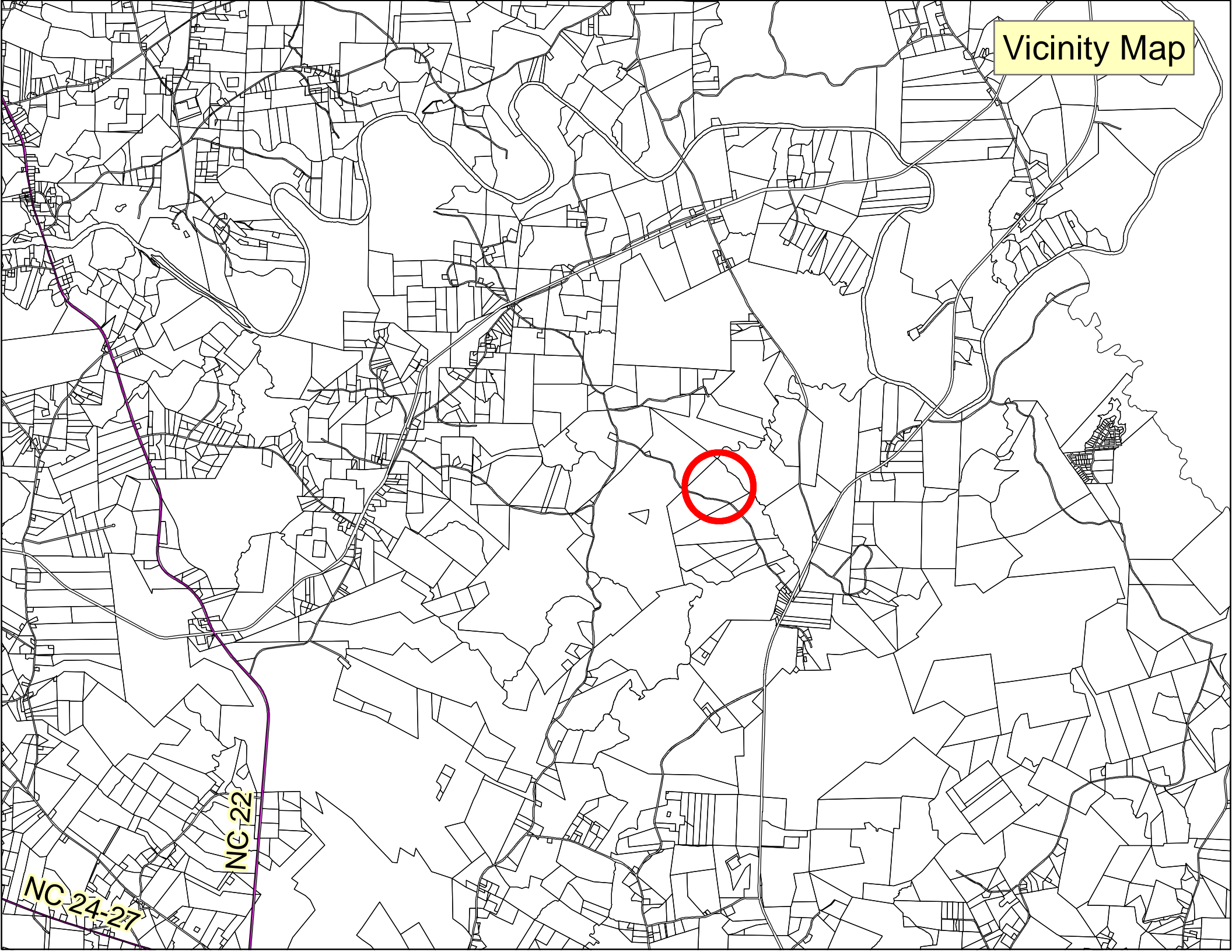
Adjacent property – Undeveloped



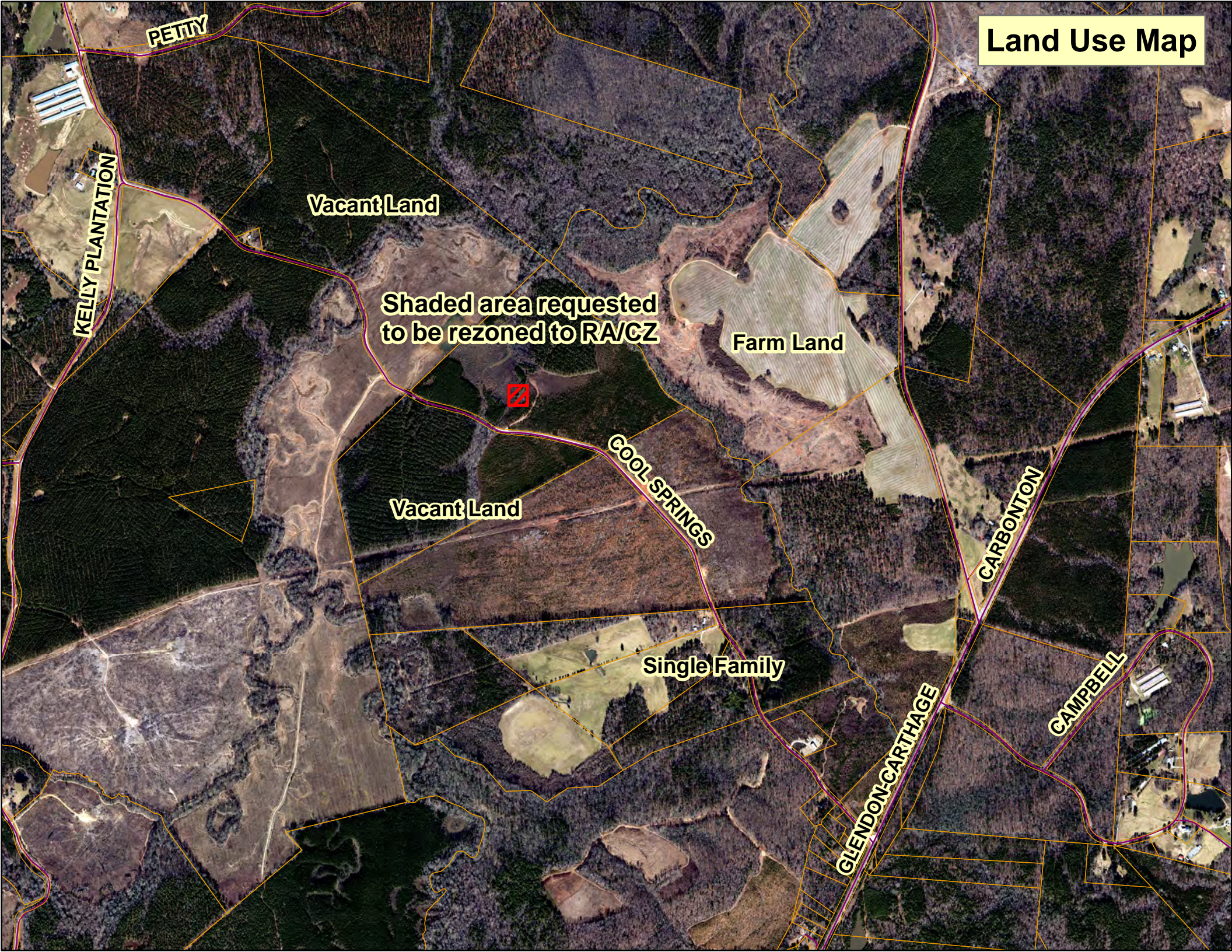
Adjacent property –1124 Cool Springs Rd.



Vicinity Map



Land Use Map



Zoning Map

RA

Shaded area requested
to be rezoned to RA/CZ



RA

Moore County Planning Board
Land Use Plan Consistency Statement
Conditional Rezoning Request
Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ)

The Moore County Planning Board finds that:

1. The rezoning request is consistent with the following goal as listed in the 2013 Moore County Land Use Plan:

Goal 1: Preserve and Protect the Ambiance and Heritage of the County of Moore (inclusive of areas around the municipalities)

- Action 1.5.2: Support new developments that utilize existing or implement planned infrastructure that most economically preserves open space and important historical, natural and cultural features.

2. The rezoning request is reasonable and in the public interest considering the property is located adjacent to existing roads and the underlying zoning district will remain in harmony with surrounding zoning.

3. Contributing factors in the rezoning approval are in response to managing the demand of wireless communication service in a largely rural area. This request will also limit the rezoning to maximum area necessary to achieve the development.

Therefore, the Moore County Planning Board recommends **APPROVAL** of the Conditional Rezoning from Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ) to construct a 255' self-support lattice tower for a Wireless Communication Facility on an approximately 0.11-acre portion of one parcel of approximately 139.23 acres located on Cool Springs Road, owned by Jordan Three, LLC, per Deed Book 4092 Page 40 and further described as ParID 00003428 in Moore County Tax Records.

Joe Garrison, Chair
Moore County Planning Board

Date

Moore County Planning Board

Land Use Plan Consistency Statement
Conditional Rezoning Request
Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ)

The Moore County Planning Board finds that:

1. The rezoning request is consistent with the following goal as listed in the 2013 Moore County Land Use Plan:

Goal 1: Preserve and Protect the Ambiance and Heritage of the County of Moore (inclusive of areas around the municipalities)

- Action 1.5.2: Support new developments that utilize existing or implement planned infrastructure that most economically preserves open space and important historical, natural and cultural features.

2. The proposed rezoning is not reasonable and not in the public interest because the proposed rezoning will have an unreasonable impact on the surrounding community.

Therefore, the Moore County Planning Board recommends **DENIAL** of the Conditional Rezoning from Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ) to construct a 255' self-support lattice tower for a Wireless Communication Facility on an approximately 0.11-acre portion of one parcel of approximately 139.23 acres located on Cool Springs Road, owned by Jordan Three, LLC, per Deed Book 4092 Page 40 and further described as ParID 00003428 in Moore County Tax Records.

Joe Garrison, Chair
Moore County Planning Board

Date



County of Moore Planning and Inspections

Inspections/Permitting: (910) 947-2221

Planning: (910) 947-5010

Fax: (910) 947-1303

Conditional Rezoning Application

Application Date: February 17, 2022			
Address of Property: Parcel ID/PIN - 00003428/86700671721			
Applicant: Jonathan L. Yates for Milestone Towers LPIV and Jordan Two, LLC		Phone: (843) 414-9754	
Applicant Address: 105 Broad St., 3rd Floor	City: Charleston	St: SC	Zip: 29401
Owner: Jordan Two, LLC		Phone:	
Owner Address: PO Box 98	City: Mount Gilead	St: NC	Zip: 27306
Current Zoning District: RA	Proposed Zoning District: RA		
Current Use(s): Timber Tract	Proposed Use(s): Wireless Communications Facility		
Proposed rules, regulations, condition(s) for the proposed district that address the impacts expected to be generated by the development or use of the site:			
Non-applicable.			
Statement of reasonableness of the proposed conditional zoning. The statement shall include, but not be limited to the following:			
1. The conditional rezoning compatibility with the County Land Use Plan and other adopted plans of the County.			
2. The conditional rezoning compatibility with the existing land uses on abutting and neighboring tracts.			
3. The benefits and detriments of the conditional rezoning for the subject property, neighboring properties and the surrounding community.			
1. Goal #1 of the Growth Management Policy of the 2020 Moore County Land Use Plan is to preserve and protect the ambiance and heritage of Moore County. The recommendations and actions within this goal broadly describe being mindful of the intensity of any proposed land use.			
This 72-acre timber tract provides a perfect location for the proposed wireless communications facility. The proposed wireless communications facility will benefit the community and maintain the "ambiance and heritage" of Moore County.			
2. The proposed wireless communications facility will be compatible with the existing land uses on abutting and neighborhood lands due to the size of the Jordan Four, LLC property and the facility's careful placement on the property.			
3. The proposed wireless communications facility will benefit the surrounding community by providing necessary and effective wireless infrastructure for both voice and broadband.			

I (We), the undersigned, certify that all statements furnished in this application are true to the best of my (our) knowledge, and do hereby agree to follow all reasonable requests or information as designated by the County of Moore Zoning Administrator.

Jordan Two, LLC

Applicant/Owner Signature

Date

By: *R.B. Jordan, IV*

2/14/2022

Applicant/Owner Signature

Date

Robert B. Jordan, IV

Applicant Signature

[Signature]

Date 02-17-22

Office Use Only:

PAR ID: 00003428

App# 38693

Opimie L. Walters

2-18-22

Received By

Date



County of Moore Planning and Inspections

Inspections/Permitting: (910) 947-2221
Planning: (910) 947-5010
Fax: (910) 947-1303

WIRELESS COMMUNICATION FACILITIES (WCF) FREESTANDING NON-CONCEALED

Applicant Information

Applicant Name: Jonathan L. Yates for Milestone Towers Contact Name: Jonathan L. Yates
Address: 105 Broad St., 3rd Floor City: Charleston State: SC Zip: 29401
Office Phone: (843) 414-9754 Cell Phone: (843) 813-0103 Fax: _____
Email: jly@hellmanyates.com

Applicant Classification: ☐ Commercial Wireless Provider ☐ Governmental User ☒ Private Business User

Is this a joint application by two or more wireless service providers? ☐ YES ☒ NO

If this is a joint application, please attach contact information for each additional applicant.

Parcel Information

ParID #: 00003428/86700671721 Zoning District: RA
Address: 734 Cool Springs Rd. City: Carthage State: NC Zip: 28327

Landowner Information

Landowner Name: Jordan Two, LLC Phone: _____
Address: PO Box 98 City: Mout Gilcad State: NC Zip: 27036

WCF Owner Information

Owner Name: Milestone Towers LPV Contact Name: Matthew Penning
Address: 1801 Reston Parkway #101 City: Reston State: VA Zip: 20190
Office Phone: (703) 865-4697 Cell Phone: _____ Fax: _____
Email: matt@milestonetowers.com

WCF Facility Information

Street Address: 734 Cool Springs Rd. City: Carthage State: NC Zip: 28327
Latitude: 35° 26' 47.19" N Longitude: 79° 24' 55.54" W
Support structure height: 255' Ground elevation (ASML): 251 ft.
Support structure description: ☐ Monopole ☐ Rooftop ☒ Self Supporting Lattice Tower ☐ Guyed Tower ☐ Other
Height of proposed co-location (AGL): 250' Additional co-locations available? ☒ YES ☐ NO
Number of co-location slots available: Five



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APPLICATION REQUIREMENTS

Please check each item per the Moore County Unified Development Ordinance Section 8.101(B):

- ☐ Site Plan. In addition to the site plan requirements per Section 4.2, the following shall be included: details of existing and proposed facilities and fall zone radius labeled "NO BUILD ZONE."
- ☐ Radio Frequency. A statement from a registered engineer that the WCF will be maintained and operated in accordance with all applicable Federal Communications Commission (FCC) rules regarding radio frequency emissions and interference and if there is interference with public safety communications, the applicant shall utilize procedures set forth by the FCC and the party causing the interference shall reimburse the County for all costs associated with resolving the interference.
- ☐ Structural Analysis. Signed and sealed by a NC Registered Professional Engineer that the support structure upon completion of the applicant's installation has the structural integrity to accommodate the proposed equipment and complies with all applicable Federal and State building, fire, structural, electrical, and safety codes.
- ☐ Lighting. Applicant shall provide documentation that lighting shall not exceed the Federal Aviation Administration (FAA) minimum standards (minimum intensity and longest duration between flashes) and shall utilize allowed downward shielding to minimize visual impact to pedestrians and reduce the potential attraction to migratory birds. Strobe lights during daylight hours and red lights during nighttime hours unless specifically prohibited by the FAA. A WCF may utilize a security light controlled by a motion-detector sensor at or near the entrance to the facility.
- ☐ Owner Authorization. Proof that a property and/or antenna support structure owner's agent has appropriate authorization to act upon the owner's behalf if applicable.
- ☐ Insurance. Proof of certificates of insurance of general liability insurance in the amount of at least \$1,000,000 covering any liability arising out of its construction or operation of the WCF.
- ☐ Bond. Applicant shall submit a performance bond or letter of credit from an accepted bank in the amount of \$20,000 or a bond equal to the written estimate from a qualified tower removal contractor to guarantee that the facility will be removed when no longer in use.
- ☐ US Fish and Wildlife Service submitted information, if applicable. ☐ Yes ☐ No
- ☐ National Environmental Policy Act (NEPA) checklist, if applicable. ☐ Yes ☐ No
- ☐ State Historic Preservation Office (SHPO) letter, if applicable. ☐ Yes ☐ No
- ☐ Federal Aviation Administration (FAA) approval, if applicable. ☐ Yes ☐ No
- ☐ Buffer. Refer to Section 7.11. Grading shall be limited to necessary area.
- ☐ Minimum Antennas. Wireless support structures (WSS) up to 80 feet – 2 antennas minimum. WSS between 81 and 100 feet – 3 antennas minimum. WSS 101 and 125 feet – 4 antennas minimum. WSS 126 feet or taller – 5 antennas minimum.
- ☐ Safety. All support structures shall be certified to comply with the safety standards contained in the Electronics Industries Association /Telecommunications Industries Association (EIA/TIA) document 222-F, or current standard, "Structural Standards For Steel Antenna Towers and Supporting Structures," or current standard, as amended, by a Registered North Carolina Professional Engineer. The use shall be totally enclosed by a security fence a minimum (6) feet high with 3-strand barbed wire or razor wire.



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- ☐ Setbacks. One foot for every 1 foot in linear height from any property line. WCF shall be a minimum 2,640 feet from any designated National Register of Historic Places.
- ☐ Height. Any WSS shall be 195 feet or less in height. The Moore County Board of Commissioners may permit a taller tower only if undisputable evidence is provided at application that the WCF service area will be so substantially compromised that there would be a requirement of additional WCFs within a distance of two (2) miles.
- ☐ Necessity. For all new WSS applications, a certification from the applicant's RF engineer that it is not reasonably feasible (technically or commercially impractical or the owner of the WSS is unwilling to enter a contract at fair market value) to co-locate new antennas and equipment on an existing WSS within the geographic search area.

I (We), the undersigned, certify that all statements furnished in this application are true to the best of my (our) knowledge, and do hereby agree to follow all reasonable requests or information as designated by the County of Moore Zoning Administrator.

Jordan Two, LLC

Applicant/Owner Signature

Date

By: R.B. Jordan, IV

2/14/2022

Applicant/Owner Signature

Date

Robert B. Jordan, IV

Applicant Signature

[Signature]

Date 02.17.22

Office Use Only:

PAR ID: 00003428

App# 38693

Jaimie L. Walters

2-18-22

Received By

Date



February 17, 2022

To: STONEWOOD_DR

Transmitted via email to matt@milestonetowers.com

RE: Verizon – Stonewood Dr 427405 - Macro Site Located at: Glendon Carthage Rd., Carthage, NC 28327

This is in response to your inquiry to Verizon concerning interference to your existing telecommunications devices and services related to Verizon's proposed facilities at [Glendon Carthage Rd., Carthage, NC 28327]. Verizon provides Commercial Mobile Radio Services ("CMRS") under licenses granted by the Federal Communication Commission ("FCC"). Pursuant to these licenses, Verizon is authorized to operate its CMRS network in many geographic areas throughout the nation, including the above noted location. The FCC exclusively regulates all technical aspects of Verizon operations and network and preempts all state and local regulation of radiofrequency transmissions. The FCC rules protect co-channel and adjacent licensees against harmful interference.

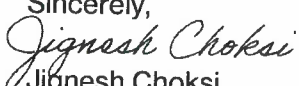
The above noted proposed Verizon facility is compliant with all applicable FCC requirements. The points below cover Verizon's practices pertinent to complying with the FCC requirements:

1. Verizon locates its transmitting antenna(s) in order to maximize vertical and horizontal separation from other operator's systems to minimize interference potential.
2. All equipment at the proposed facility is designed and certified to operate within the frequencies licensed to Verizon by the FCC, and to operate in a manner approved by the FCC..
3. The power levels generated by the facility's radios and corresponding effective radiated power (ERP) from the transmitting antenna(s) are within the limitations specified by Part 22 (for cellular), Part 24 (for PSC), Part 27 (for 700 MHz or AWS), Part 96 (for CBRS), Part 30 (UMFUS/mmWave) or Part 101 (for microwave) of the Commission's Rules.

Verizon is committed to providing state of the art wireless services that benefit your community. In the unlikely event that interference does occur, Verizon agrees to fully cooperate with the entity experiencing interference to identify and correct, to the extent reasonably possible, any issues caused by the Verizon installation.

Please contact your local Verizon resource below if you have additional site-specific questions.

Contact Name	Contact Email	Contact Phone
Kelly Quate	SE-Regulatory@verizonwireless.com	704-574-5273

Sincerely,

Jignesh Choksi
Manager-RF System Design
Verizon

Matt Penning
Milestone Towers
1801 Reston Parkway, #101
Reston, VA 20190

February 11, 2022

RE: 255' Self-Supporting Tower for Jordan Lumber, NC

Dear Mr. Penning,

Upon receipt of order, we propose to design and supply the above-referenced tower for a Basic wind speed of 114 mph without ice and 30 mph with 1.5" ice, Risk Category II, Exposure Category C, and Topographic Category 1, in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-G, "Structural Standards for Steel Antenna Towers and Antenna-Supporting Structures", using structural steel, to support loading for Verizon Wireless and (4) additional carriers.

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors. Therefore, it is highly unlikely that the tower will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within one or more of the tower members in the upper portion. This would result in a buckling failure mode, where the loaded member would bend beyond its elastic limit (beyond the point where the member would return to its original shape upon removal of the wind load).

Therefore, it is likely that the overall effect of such an extreme wind event would be localized buckling of a tower section. Assuming that the wind pressure profile is similar to that used to design the tower, the tower is most likely to buckle at the location of the highest combined stress ratio in the upper portion of the tower. This would result in the portion of the tower above the failure location "folding over" onto the portion of the tower below the failure location and would effectively result in a fall radius less than or equal to the height of the tower. *Please note that this letter only applies to the above-referenced tower designed and manufactured by Sabre Industries.*

Sincerely,

David Hill, P.E.
Design Engineer II





703.620.2556
12110 Sunset Hills Rd.
Suite 600, Reston, VA 20190

Moore County

February 9, 2022

Planning & Community Development
Jamie Walters, MPA, CZO, Senior Planner
1048 Carriage Oaks Drive
Carthage, NC 28327

Subject: Compliance with FAA Determination

Ms. Walters,

At the time of this letter, Milestone Towers (Milestone) has not received a Final Determination from the Federal Aviation Authority (FAA) as to what (if any) level of obstruction marking/lighting will be required for the proposed 255' tall self-support tower at the Jordan Lumber property on Cool Springs Road in Carthage.

An application [2022-ASO-952-OE] was filed with the FAA on January 10, with an expected Final Determination date of April 30. The letter will be provided to your office upon receipt.

In the interim, please accept this letter as evidence that Milestone, the applicant and developer for this project, agrees to provide only the required level of obstruction marking/lighting as specified by FAA to ensure safe airspace navigation. To confirm - Milestone will not voluntarily outfit the tower with obstruction marking/lighting that exceeds the FAA standards or what is required at this site by the any other controlling governmental airport authority (local or state).

Should you have any questions, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Matt Penning', with a stylized flourish at the end.

Matt Penning,
Director of Development | Milestone Towers
matt@milestonetowers.com
703 865-4697

ACORD™

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

2/15/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer any rights to the certificate holder in lieu of such endorsement(s).

PRODUCER McGriff Insurance Services 5850 Waterloo Road, Suite 240 Columbia, MD 21045 410 480-4400		CONTACT NAME: Karen Humphrey PHONE (A/C, No, Ext): 410 480-4454 FAX (A/C, No): 866-548-4197 E-MAIL ADDRESS: KMHumphrey@McGriff.com	
INSURED Milestone Development Inc. Milestone Tower Limited Partnership IV 12110 Sunset Hills Road Suite 100 Reston, VA 20190		INSURER(S) AFFORDING COVERAGE INSURER A: Hanover Insurance Company NAIC # 22292 INSURER B: Allmerica Financial Alliance Ins Co 10212 INSURER C: Citizens Insurance Co of America 31534 INSURER D: INSURER E: INSURER F:	

COVERAGES

CERTIFICATE NUMBER:

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:		ZHQ665536112	10/08/2021	10/08/2022	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$100,000 MED EXP (Any one person) \$10,000 PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMP/OP AGG \$2,000,000 \$
C	AUTOMOBILE LIABILITY ANY AUTO OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS NON-OWNED AUTOS ONLY <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/>		ABQ6656048	10/08/2021	10/08/2022	COMBINED SINGLE LIMIT (Ea accident) \$1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR EXCESS LIAB CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$0		UHQ665551912	10/08/2021	10/08/2022	EACH OCCURRENCE \$5,000,000 AGGREGATE \$5,000,000 \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input checked="" type="checkbox"/> Y/N (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	N/A	WKQ6800981	10/08/2021	10/08/2022	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$500,000 E.L. DISEASE - EA EMPLOYEE \$500,000 E.L. DISEASE - POLICY LIMIT \$500,000
A	Professional Lib		LHQ948599910	10/08/2021	10/08/2022	Per Claim: \$1,000,000 Aggregate: \$2,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

RE: Jordan Lumber Tract

If required by written contract, Jordan Lumber Tract is named as Additional Insured on the General Liability, subject to policy provisions.

CERTIFICATE HOLDER

CANCELLATION

Jordan Lumber Two, LLC
 9096 Cool Springs Road
 Carthage, NC 28327

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

David F. Saul

Tower Removal Bond

KNOW ALL PERSONS BY THESE PRESENTS: That we Milestone Tower Limited Partnership IV, a corporation duly organized under the laws of the State of DE, as Principal and The Ohio Casualty Insurance Company, as Surety, are held and firmly bound unto County of Moore, North Carolina as Obligee, in the amount of Twenty Thousand Dollars and 00/100 (\$ 20,000.00) for the payment of which, well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents, the liability of the Surety being limited to the penal sum of this bond regardless of the number of years the bond is in effect.

Whereas, the Principal has obtained written approval from the Obligee for the construction and erection of a wireless communication tower located at Jordan Lumber Tract 9098, Moore County Parcel ID 0003428.35.446442-79.415428, Cool Springs Road, Glendon, NC 27325. Now, therefore if the principal well and truly complies with the maintenance, replacement, removal or relocation of the tower from the aforementioned address within 30 days upon receipt of written notice from the Obligee, to remove, replace, modify, or relocate the tower from said premises then this obligation is void otherwise to remain in full force and effect unless cancelled as set forth below:

1. It shall be a condition precedent to any right of recovery hereunder that, in the event of any default on the part of the Principal, a written statement of the particular facts of such default shall be, within Thirty (30) days, delivered to Surety at its Home Office located at 175 Berkeley Street, Boston, MA 02116 by registered mail to the Surety and the Surety shall not be obligated to perform Principals obligation until sixty (60) days after Surety's receipt of such statement.
2. The surety may cancel this bond at any time by giving Thirty (30) days notice, by registered mail or overnight courier service to 1048 Carriage Oaks Drive, Cathage, NC 28327 (Obligee). Such termination shall not affect liability incurred under this obligation prior to the effective date of such termination.
3. No action, suit, or proceeding shall be maintained against the Surety on this bond unless the action is brought within twelve (12) months of the cancellation date of this bond.
4. Regardless of the number of years this bond may be renewed; in no event shall the liability of the Surety exceed the penal sum of this bond.
5. It is understood that the non-renewal of this bond by the Surety, or failure or inability of the Principal to file a replacement bond shall not constitute a loss recoverable by the Obligee under this bond.

Signed, sealed, and witnessed this 9th day of February, 2022.

Mitchell

Witness

Milestone Tower Limited Partnership IV
Principal

By: LeeAnne K. Michaud

The Ohio Casualty Insurance Company
Surety

By: LeeAnne K. Michaud
LeeAnne K. Michaud, Attorney-In-Fact



Surety Phone No. 617-357-9500

This Power of Attorney limits the acts of those named herein, and they have no authority to bind the Company except in the manner and to the extent herein stated. Not valid for mortgage, note, loan, letter of credit, bank deposit, currency rate, interest rate or residual value guarantees. For bond and/or Power of Attorney (POA) verification inquiries, please call 610-832-8240 or email HOSUR@libertymutual.com.



Liberty Mutual Insurance Company
The Ohio Casualty Insurance Company
West American Insurance Company

POWER OF ATTORNEY

KNOWN ALL PERSONS BY THESE PRESENTS: That The Ohio Casualty Insurance Company is a corporation duly organized under the laws of the State of New Hampshire, that Liberty Mutual Insurance Company is a corporation duly organized under the laws of the State of Massachusetts, and West American Insurance Company is a corporation duly organized under the laws of the State of Indiana (herein collectively called the "Companies"), pursuant to and by authority herein set forth, does hereby name, constitute and appoint LeeAnne K. Michaud of the city of Columbia, state of MD its true and lawful attorney-in-fact, with full power and authority hereby conferred to sign, execute and acknowledge the following surety bond:

Principal Name: Milestone Tower Limited Partnership IV

Obligee Name: County of Moore, North Carolina

Surety Bond Number: 017249667

Bond Amount: See Bond Form

IN WITNESS WHEREOF, this Power of Attorney has been subscribed by an authorized officer or official of the Companies and the corporate seals of the Companies have been affixed thereto this 12th day of March, 2021.



The Ohio Casualty Insurance Company
Liberty Mutual Insurance Company
West American Insurance Company

By: David M. Carey

David M. Carey, Assistant Secretary

STATE OF PENNSYLVANIA
COUNTY OF MONTGOMERY

ss

On this 12th day of March, 2021, before me personally appeared David M. Carey, who acknowledged himself to be the Assistant Secretary of Liberty Mutual Insurance Company, The Ohio Casualty Insurance Company, and West American Insurance Company, and that he, as such, being authorized so to do, execute the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as a duly authorized officer.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed my notarial seal at King of Prussia, Pennsylvania, on the day and year first above written.



Commonwealth of Pennsylvania - Notary Seal
Teresa Pastella, Notary Public
Montgomery County
My commission expires March 28, 2025
Commission number 1126044
Member, Pennsylvania Association of Notaries

By: Teresa Pastella

Teresa Pastella, Notary Public

This Power of Attorney is made and executed pursuant to and by authority of the following By-laws and Authorizations of Liberty Mutual Insurance Company, The Ohio Casualty Insurance Company, and West American Insurance Company which resolutions are now in full force and effect reading as follows:

ARTICLE IV – OFFICERS – Section 12. Power of Attorney. Any officer or other official of the Corporation authorized for that purpose in writing by the Chairman or the President, and subject to such limitation as the Chairman or the President may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Corporation to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Corporation by their signature and execution of any such instruments and to attach thereto the seal of the Corporation. When so executed, such instruments shall be as binding as if signed by the President and attested to by the Secretary. Any power or authority granted to any representative or attorney-in-fact under the provisions of this article may be revoked at any time by the Board, the Chairman, the President or by the officer or officers granting such power or authority.

ARTICLE XIII – Execution of Contracts – SECTION 5. Surety Bonds and Undertakings. Any officer of the Company authorized for that purpose in writing by the chairman or the president, and subject to such limitations as the chairman or the president may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Company by their signature and execution of any such instruments and to attach thereto the seal of the Company. When so executed such instruments shall be as binding as if signed by the president and attested by the secretary.

Certificate of Designation – The President of the Company, acting pursuant to the Bylaws of the Company, authorizes David M. Carey, Assistant Secretary to appoint such attorneys-in-fact as may be necessary to act on behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations.

Authorization – By unanimous consent of the Company's Board of Directors, the Company consents that facsimile or mechanically reproduced signature of any assistant secretary of the Company, wherever appearing upon a certified copy of any power of attorney issued by the Company in connection with surety bonds, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

I, Renee C. Llewellyn, the undersigned, Assistant Secretary, of Liberty Mutual Insurance Company, The Ohio Casualty Insurance Company, and West American Insurance Company do hereby certify that this power of attorney executed by said Companies is in full force and effect and has not been revoked.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seals of said Companies this 9th day of February, 2022.



By: Renee C. Llewellyn

Renee C. Llewellyn, Assistant Secretary

WIRELESS NETWORK CONSULTING



Jordan Lumber – Milestone Towers

TOWER HEIGHT ANALYSIS

Proposed Site

† 255' Self Support Tower

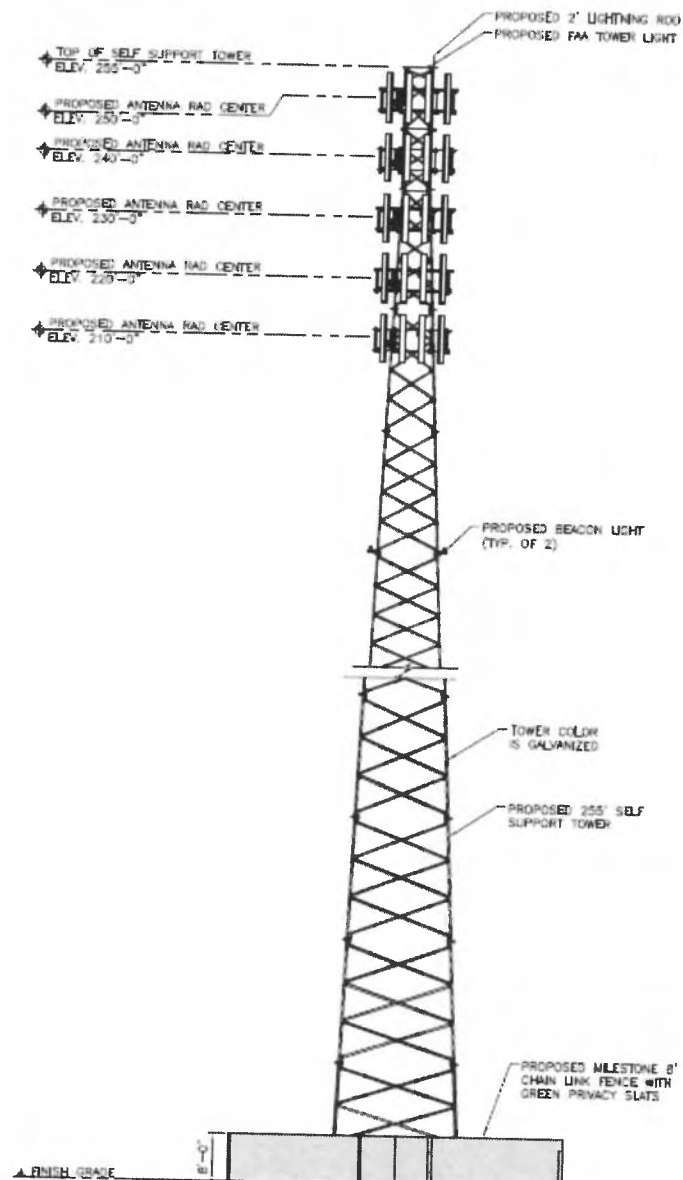
- 734 Cool Springs Road Carthage, NC 28327
 - Latitude: 35.44644 N (NAD83)
 - Longitude: -79.41543 W (NAD83)
 - Ground Elevation: 253' (NAVD88)
 - Anchor tenant is Verizon
- Antenna Centerline at 250' AGL

Why a taller site?

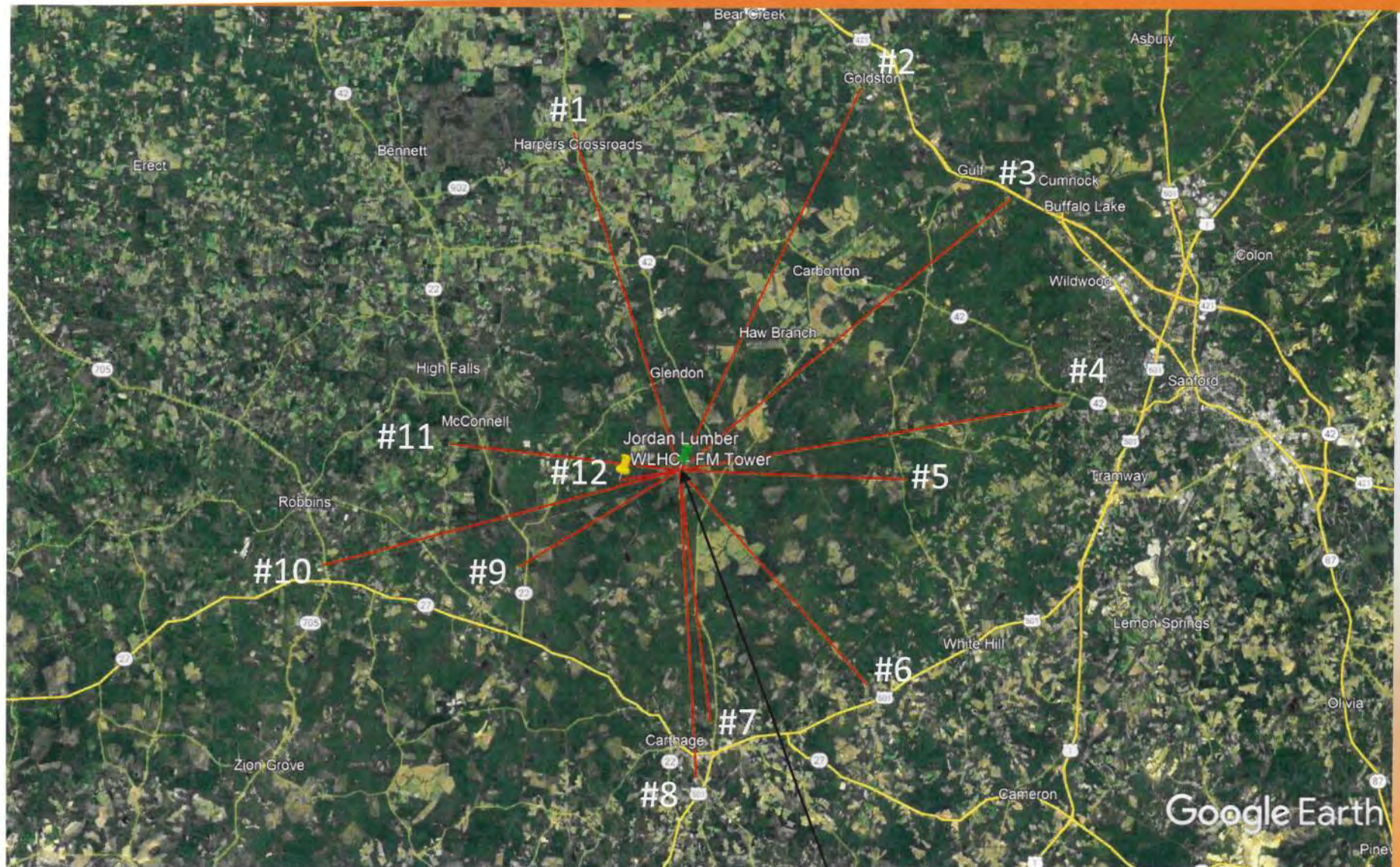
- † Radio Frequencies in the Commercial Wireless space operate on line of site.
- † The higher the antennas above the ground the larger the area of coverage
- † There is significant distance between the proposed site and the neighbors due to the rural environment
- † A taller site is needed to provide enough coverage to overlap with neighbor sites
- † Other towers in the area are over 300' AGL

Colocation Heights

- † If a 195' AGL tower is all that is allowed, it will increase the need for additional sites in the county to provide coverage
- † The 195' height would place the lowest potential commercial wireless mounting height at 160' AGL
- † Lower heights mean that more towers will be needed for the carriers on the (2) lower platforms
- † There would be a need for additional towers within a distance of 2 miles



Surrounding Tower Locations



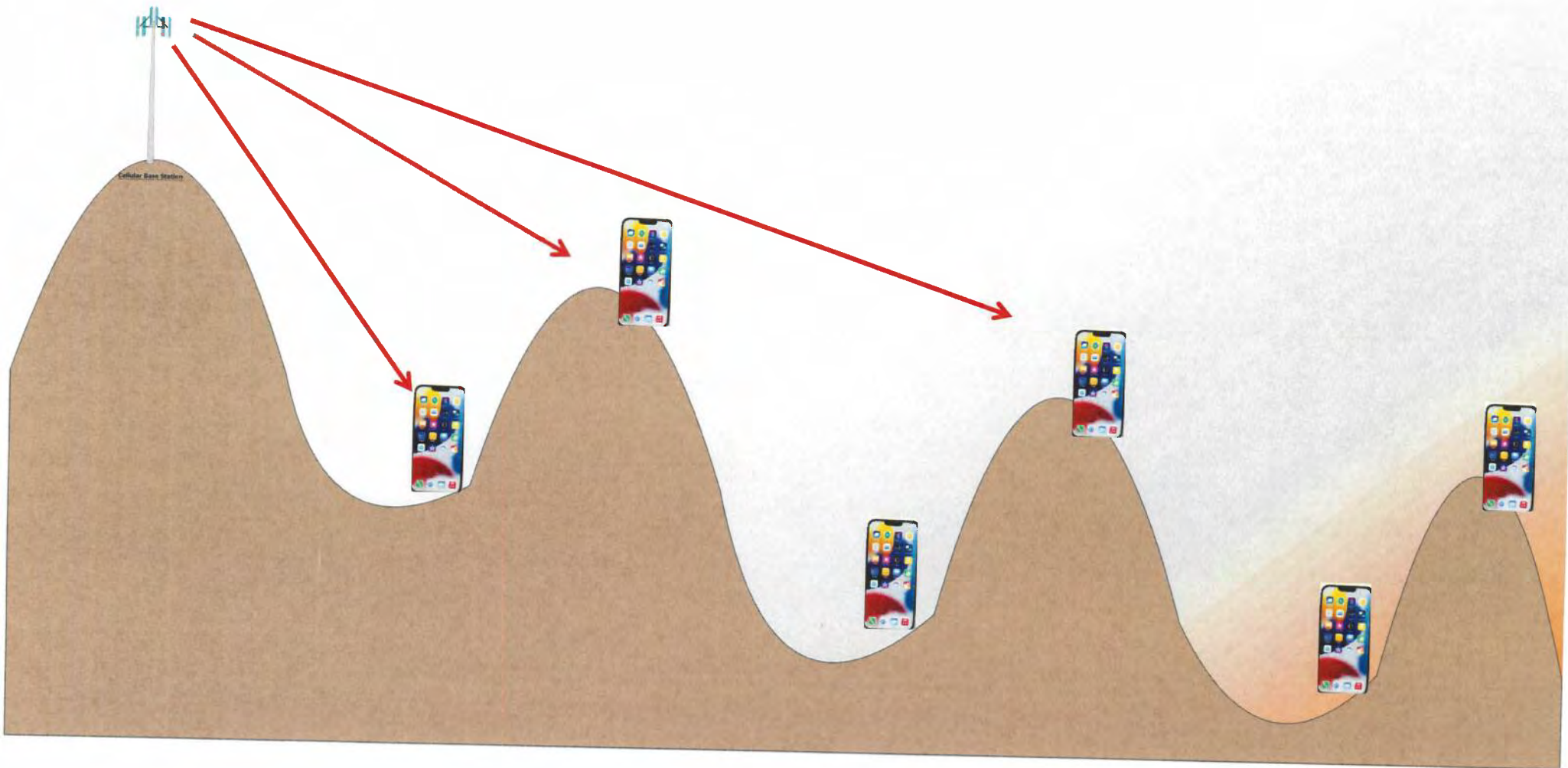
Proposed Site

2022

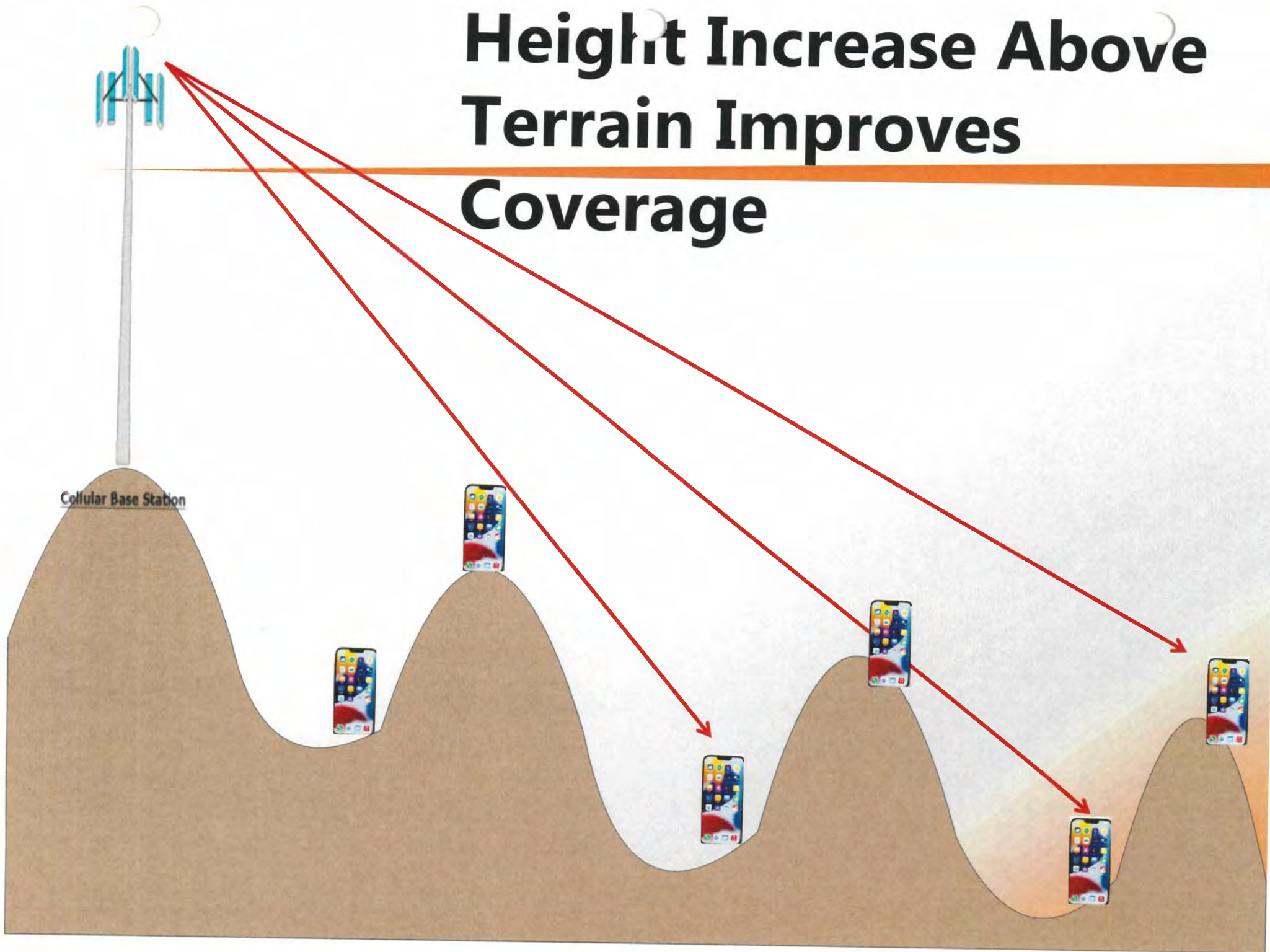
Surrounding Tower Locations

- † #1 – 9.13 miles – Chatham County – 300' AGL
- † #2 – 10.91 miles – Chatham County – 300' AGL
- † #3 – 11.02 miles – SBA Towers – 300' AGL
- † #4 – 9.98 miles – ATC Towers – 251' AGL
- † #5 – 5.88 miles – WFJA FM – 497' AGL
- † #6 – 7.73 miles – CCATT LLC – 300' AGL
- † #7 – 6.49 miles – NC Highway Patrol – 340' AGL
- † #8 – 7.85 miles – ATC Towers – 402' AGL
- † #9 – 4.48 miles – US Cellular – 250' AGL
- † #10 – 9.52 miles – ATC Towers – 300' AGL
- † #11 – 5.98 miles – ATC Towers – 300' AGL
- † #12 – 1.58 miles – WLHC FM – 385' AGL




Terrain impact on coverage

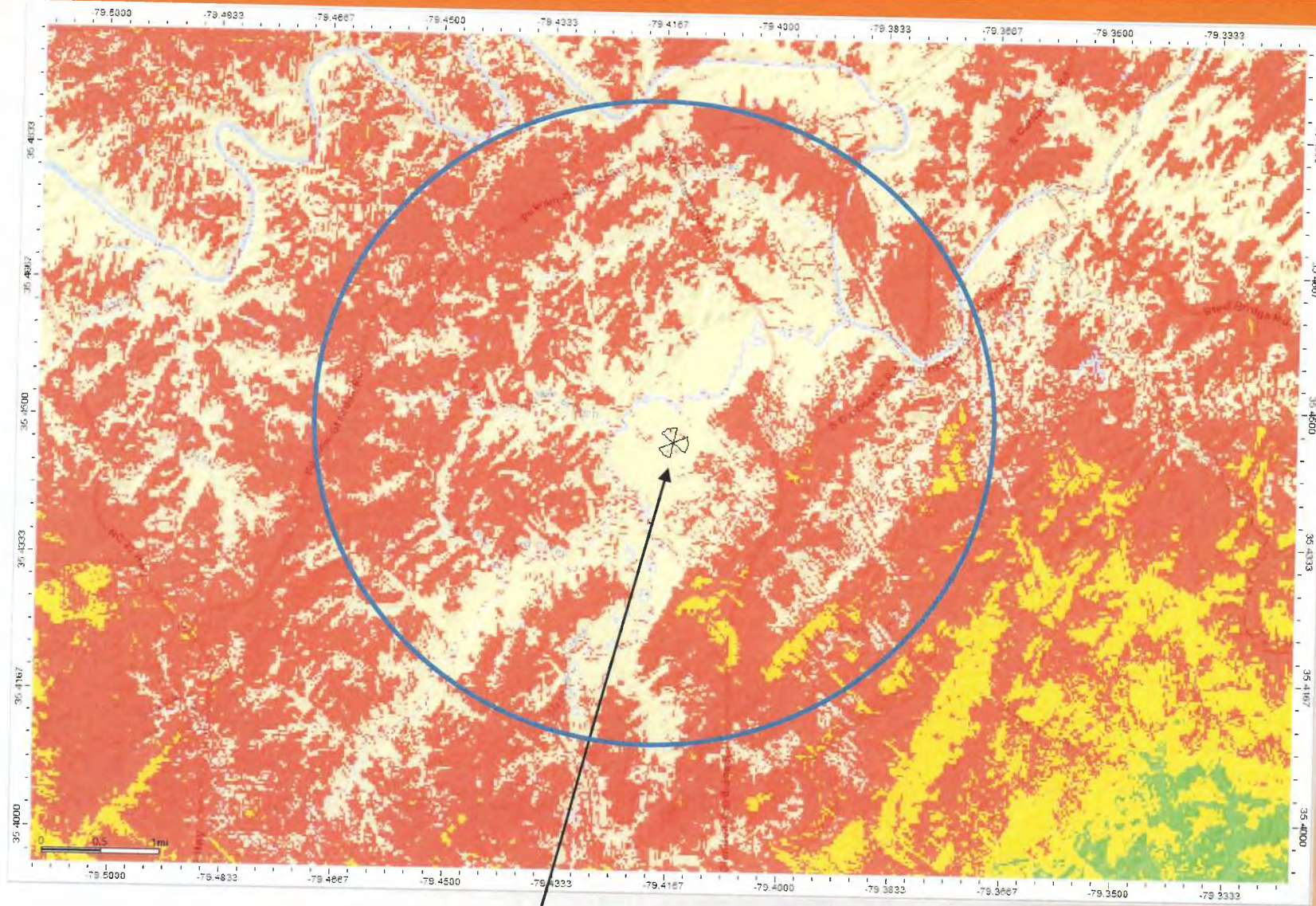


Height Increase Above Terrain Improves Coverage



RSRP Coverage - Current




LEGEND	
	In-Building
	In-Vehicle
	On-Street

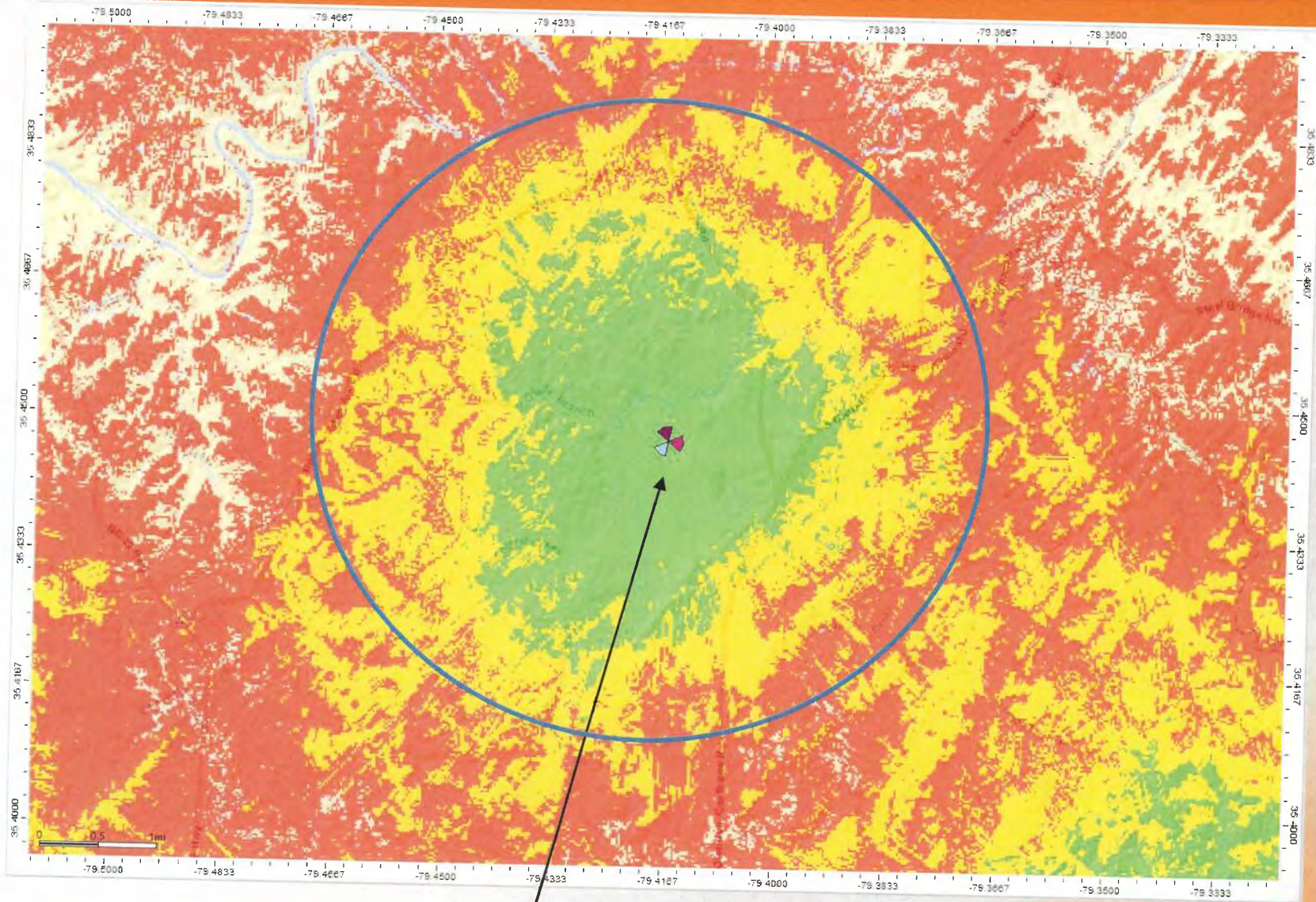


Proposed Site Location

2022

RSRP Coverage – 250'




LEGEND	
	In-Building
	In-Vehicle
	On-Street

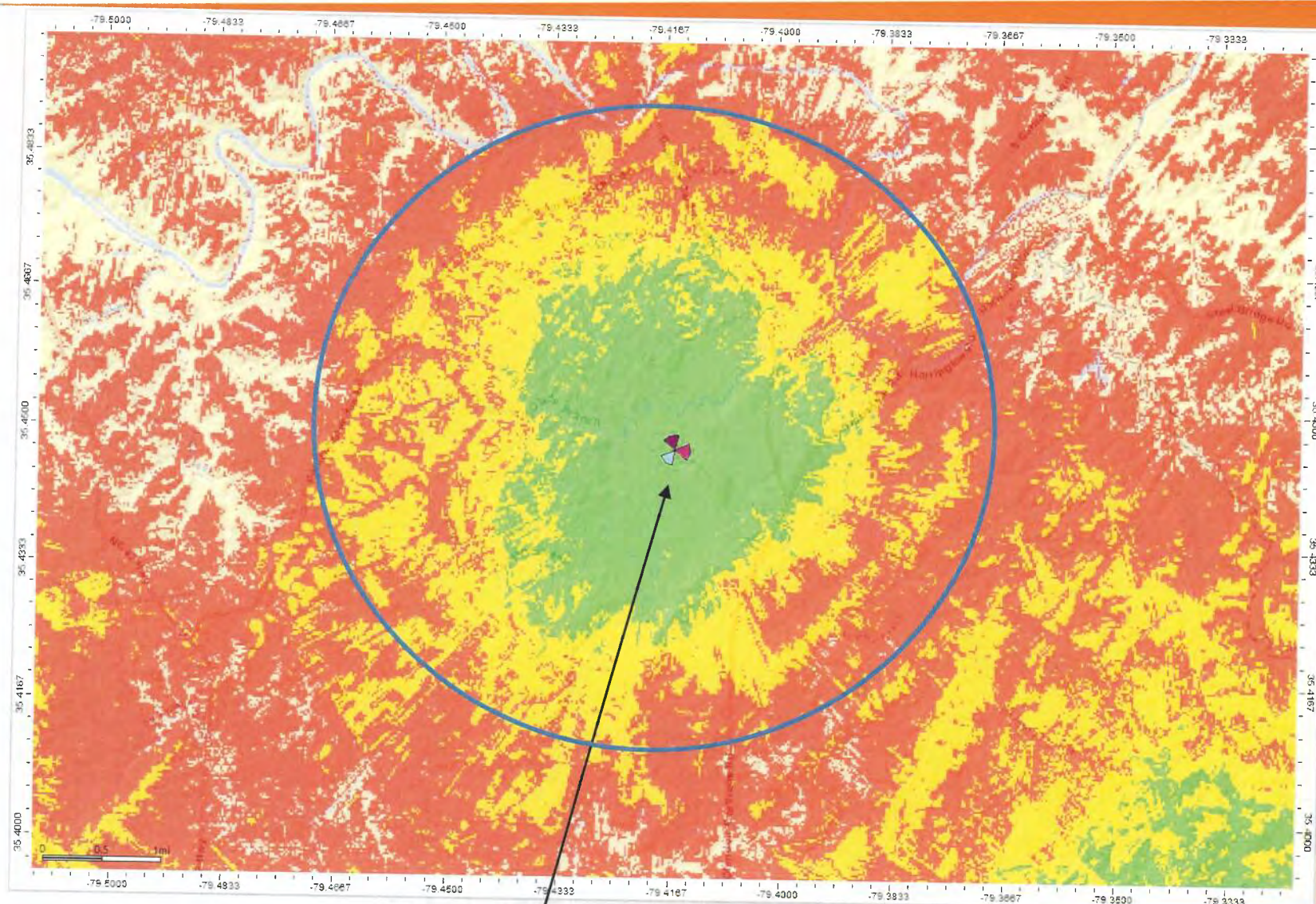


Proposed Site Location

2022

RSRP Coverage – 190'




LEGEND	
	In-Building
	In-Vehicle
	On-Street

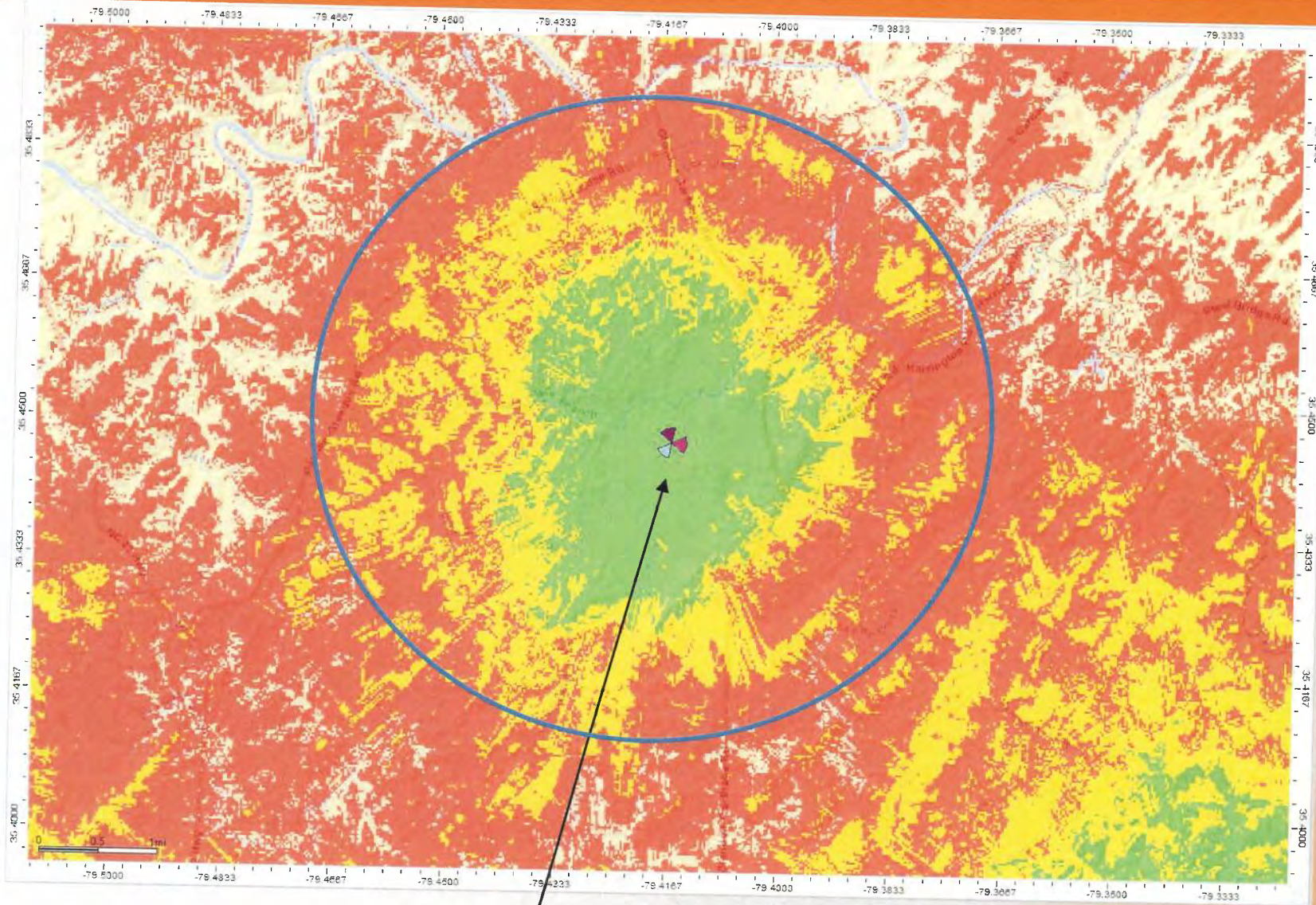


Proposed Site Location

2022

RSRP Coverage – 150'

LEGEND	
	In-Building
	In-Vehicle
	On-Street



Proposed Site Location

2022

WIRELESS NETWORK CONSULTING



Jordan Lumber – Milestone Towers

RF DESIGN ANALYSIS

2022

Coverage vs Capacity

- † **Capacity is providing bandwidth or processing capacity to service the customers in the area.**
 - Areas where large numbers of users are in a specific geographic areas
 - Areas where users are demanding higher data rates for services
 - Areas with a large amount of indoor users
- † **Coverage is Providing Service where service does not exist, calls drop, or “no service”.**
 - Areas where there are farther apart
 - Areas where terrain or buildings block signals
 - Areas where indoor service is low or nonexistent

Proposed Site

† 255' Self Support Tower

- 734 Cool Springs Road Carthage, NC 28327
 - Latitude: 35.44644 N (NAD83)
 - Longitude: -79.41543 W (NAD83)
 - Ground Elevation: 253' (NAVD88)
 - Anchor tenant is Verizon
- Antenna Centerline at 250' AGL

Why here?

- † Poor coverage in and around S Carbonton Road and Glendon Carthage Road.
- † The need to be located close to the intersection of those two roads and provide service North and South along those roads
- † The area has low throughput for not only Verizon but other carriers as well

Objective of new site

† Coverage

- Provide additional capacity and coverage S Carbonton Road and Glendon Carthage Road
- Provide coverage in the rural area surrounding the above named roads

† Why is this site important?

- 96% of Americans own a Cellular Phone
- 57% of American Homes rely exclusively on cellular phones
- 84% or more of 9-1-1 emergency calls are made from wireless devices

Ionizing vs Non-Ionizing

† There are two (2) types of Energy/Radio Waves

- **Ionizing**

- These are waves that can effect human DNA
- Examples are:
 - Gamma rays
 - X-Rays
- This is one of the reasons the nurse steps out of the room and you wear a lead overcoat when you get X-Rays at the dentist.

- **Non- Ionizing**

- These are waves do not effect human DNA
- Examples are:
 - Car Radios
 - Television
 - Wi-Fi Access points and routers
 - Bluetooth headsets
 - Cellphones and Smartphones
 - Lightbulbs
 - Wireless Baby Monitors
 - TV remotes
- Absorption of waves is proximity based, the closer you are to the antenna the more non-ionizing energy is absorbed. You will absorb 50% of the FCC's General Public limit with your smartphone next to your ear versus less than 10% of the FCC's General Public limit from the antennas when you are standing 20' away from the proposed tower.
- The further you walk away from the tower it decreases even more.

General Public & Occupational limits

† The FCC isolated two (2) groups relative to access around wireless antennas

† The first group is called Occupational

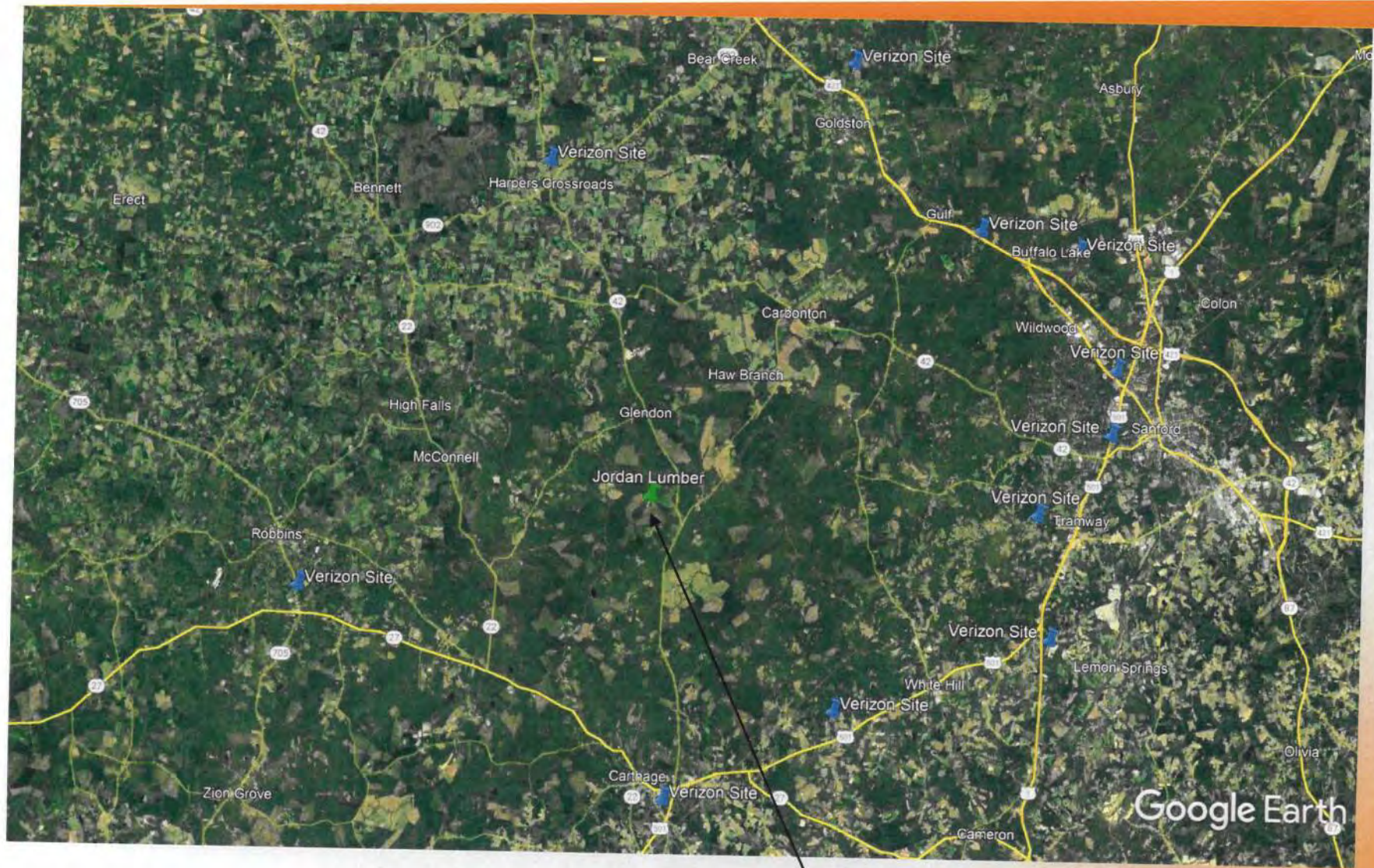
- This refers to areas where workers would be allowed (general public cannot access) but the workers would not have knowledge about antennas (An example would be an Air Conditioner Repair Technician). Barriers or signage may be needed to alert the worker when close to the antennas.
 - Examples are:
 - Rooftop access behind a locked door
 - Compound access behind a locked gate
- The FCC determined the safe value and then lowered by a factor of 10 and that is the value the wireless carriers use in the studies
- The exposure levels are averaged over 6 minutes

† The second group is called General Public

- Uncontrolled access (General Public)
 - This group is for areas with general public access, the public would not have a knowledge of an antenna being close to them
 - Examples are:
 - Sidewalks
 - Parks
 - Public accessed buildings
- The FCC determined the safe value and then lowered by a factor of 50 and that is the value the wireless carriers use in the studies
- The exposure levels are averaged over 30 minutes

† Compare the value for a tower which is 1mW to the power of a smartphone which is 200mW of power.

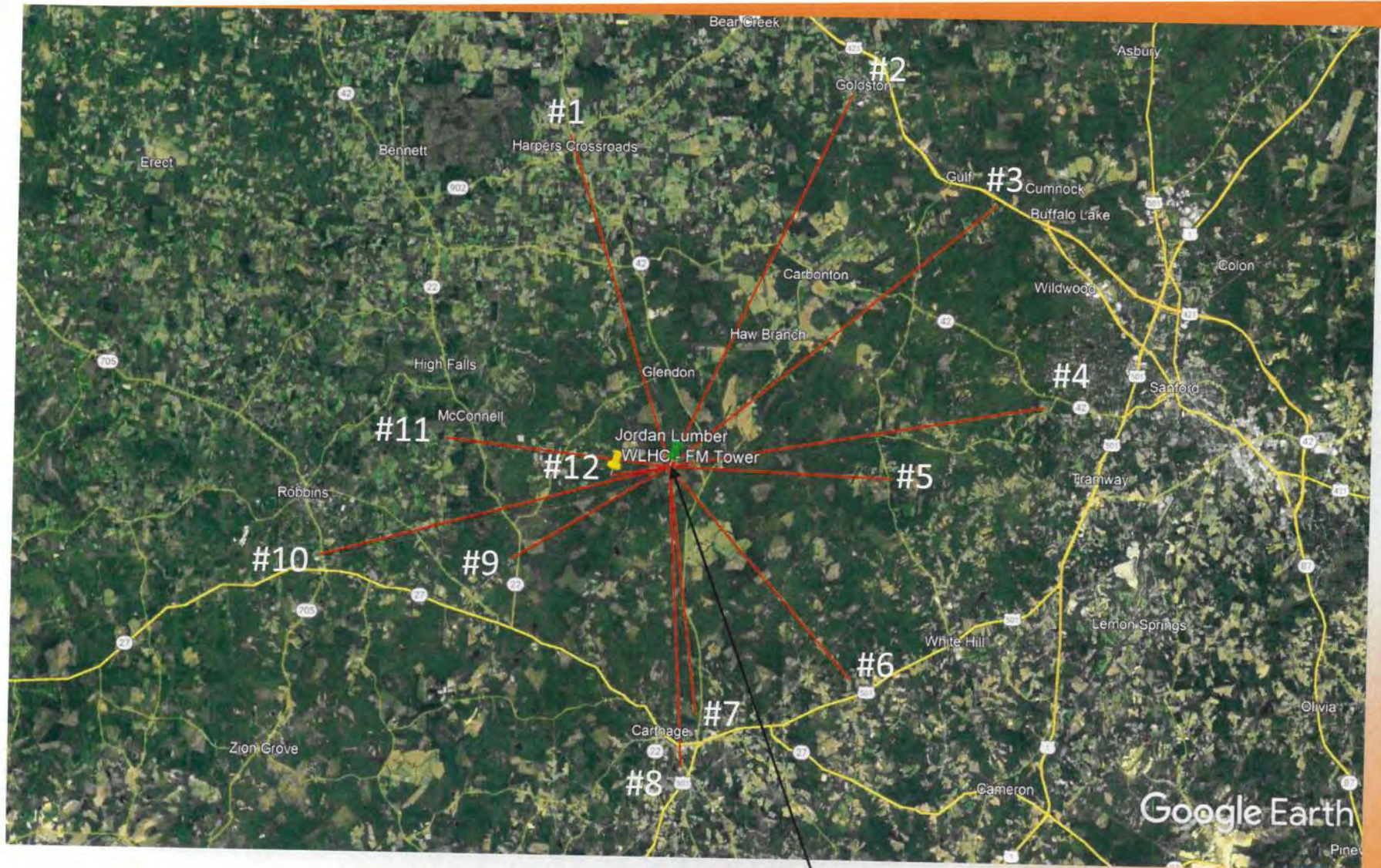
Sites



Proposed Site

2022

Surrounding Tower Locations



Proposed Site

2022

Surrounding Tower Locations

- † #1 – 9.13 miles – Chatham County – 300' AGL
- † #2 – 10.91 miles – Chatham County – 300' AGL
- † #3 – 11.02 miles – SBA Towers – 300' AGL
- † #4 – 9.98 miles – ATC Towers – 251' AGL
- † #5 – 5.88 miles – WFJA FM – 497' AGL
- † #6 – 7.73 miles – CCATT LLC – 300' AGL
- † #7 – 6.49 miles – NC Highway Patrol – 340' AGL
- † #8 – 7.85 miles – ATC Towers – 402' AGL
- † #9 – 4.48 miles – US Cellular – 250' AGL
- † #10 – 9.52 miles – ATC Towers – 300' AGL
- † #11 – 5.98 miles – ATC Towers – 300' AGL
- † #12 – 1.58 miles – WLHC FM – 385' AGL

RootMetrics – Coverage Map



Proposed Site Location

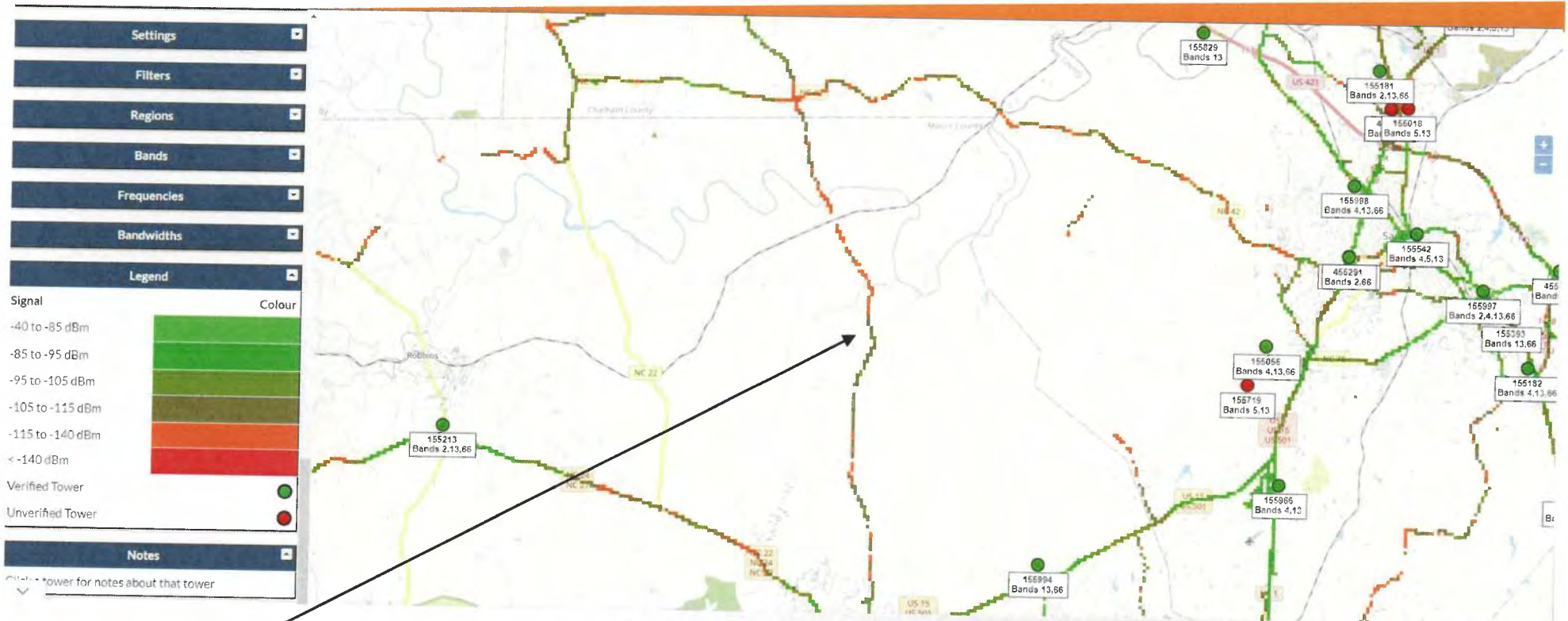
- Area showing bad, poor and fair coverage around the proposed site location
- Data collected by RootMetrics drive test vehicles and end users
- Source: <https://webcoveragemap.rootmetrics.com/en-US>

RootMetrics – Throughput Map



- Large area where mobiles cannot connect along Hwy 1006 and slow throughput
- Data collected by RootMetrics drive test vehicles and end users
- Source: <https://webcoveragemap.rootmetrics.com/en-US>

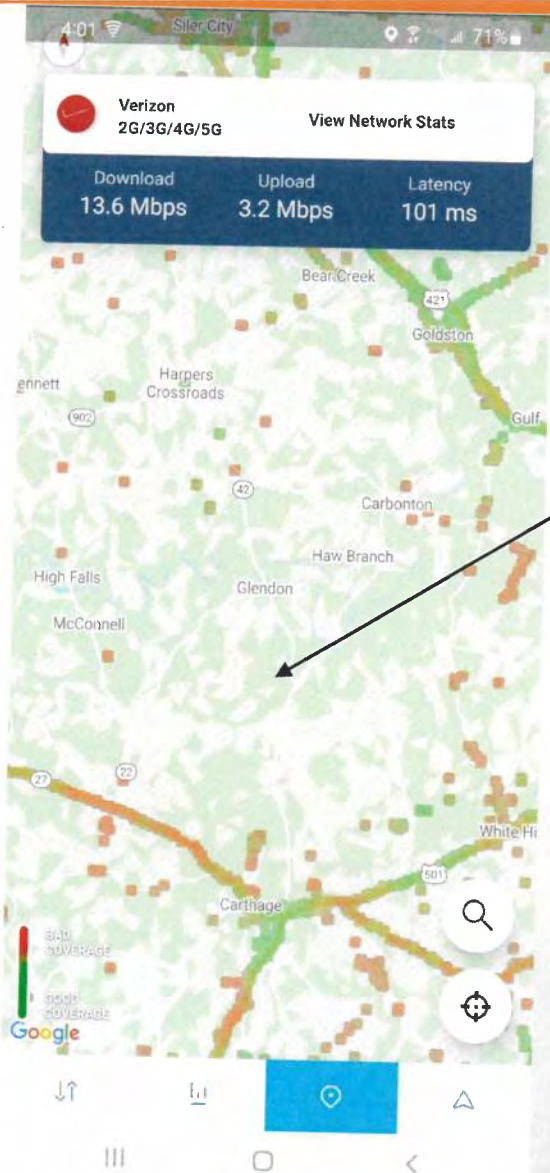
CellMapper.net – Coverage Map



Proposed Site Location

- Area showing poor and no service around location of proposed site
- Data collected by Cellmapper.net Crowdsourced data from end users
- Source: <https://www.cellmapper.net/>

Open Signal – Quality Map



This map shows mobiles reporting quality of their connections to the network. This is crowdsourced data from Verizon users made available by the OpenSignal App:

<https://www.opensignal.com/apps#section-os-app>

Green data points show good coverage and Red data points show bad coverage

Note the lack of mobiles being able to make connection to report in the area

Open Signal – Quality Map

T-Mobile and AT&T

These maps show mobiles reporting quality of their connections to the network. This is crowdsource data from T-Mobile and AT&T users made available by the OpenSignal App:




<https://www.opensignal.com/apps#section-os-app>

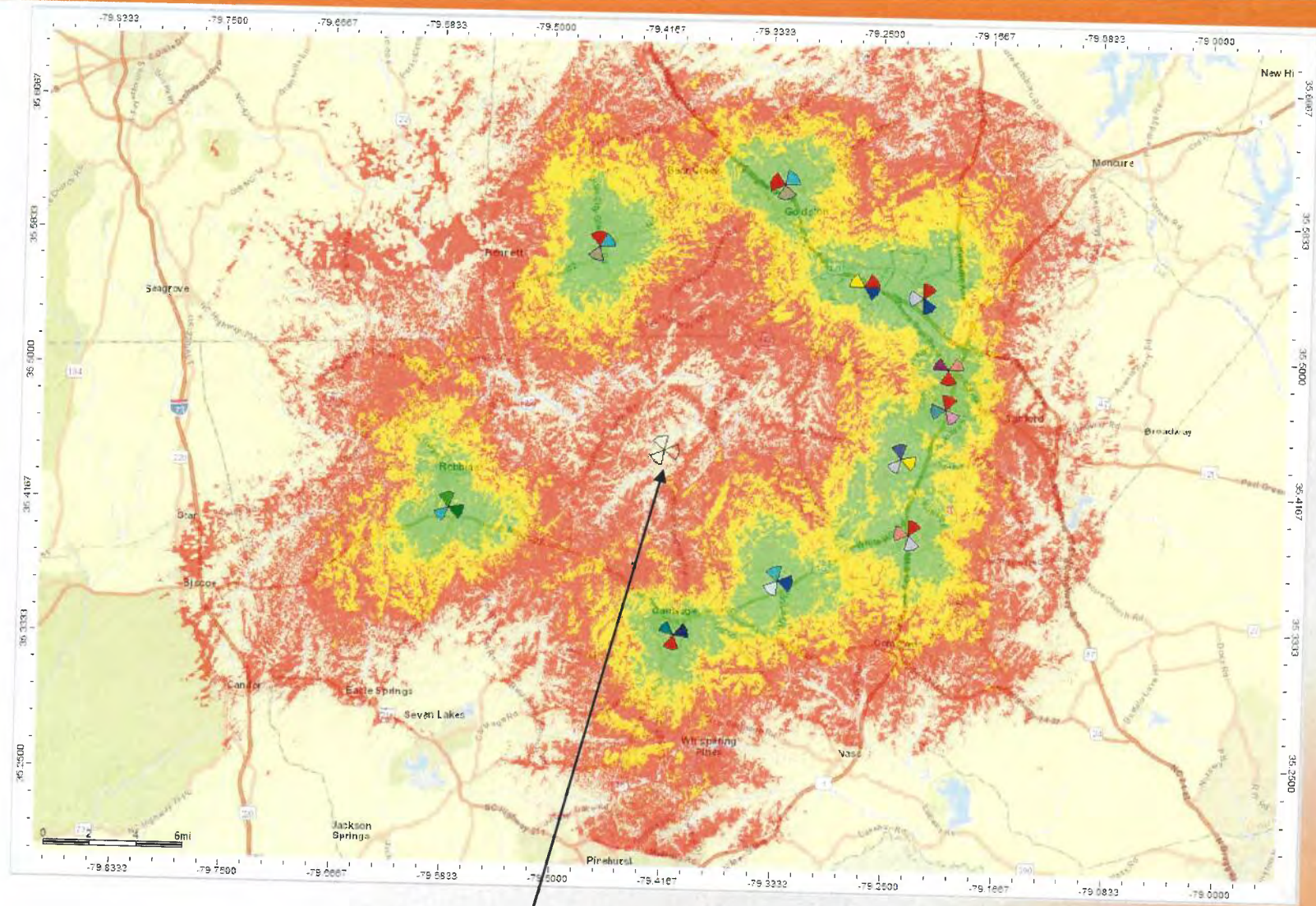
Green data points show good coverage and Red data points show bad coverage

Notice that both maps zoomed in on the area (left –T-Mobile, right AT&T show that both T-Mobile and AT&T have a significant portion of the users cannot connect. It also shows that the other carriers may be open to locating on the tower as well.



RSRP Coverage - Current




LEGEND	
	In-Building
	In-Vehicle
	On-Street

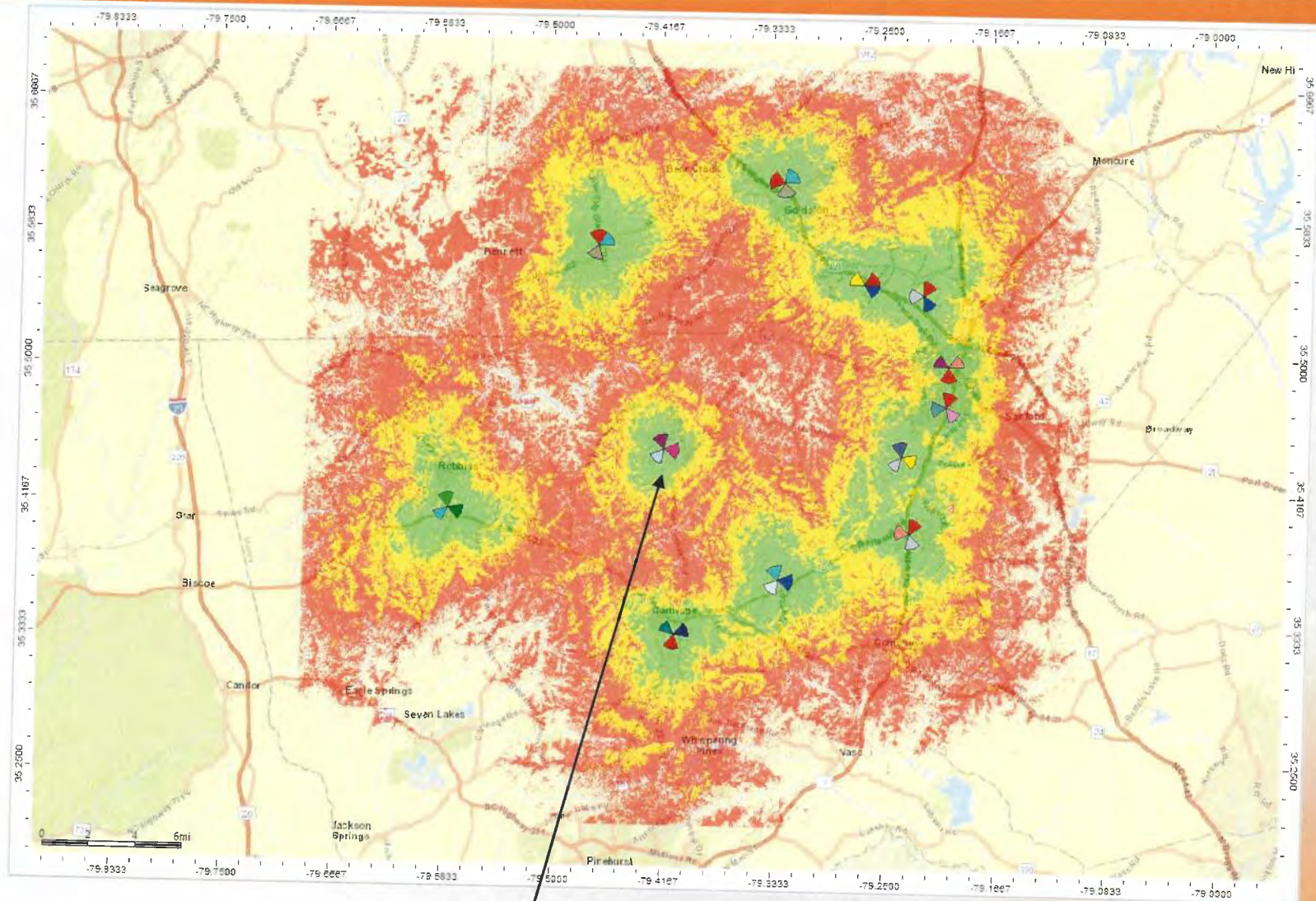


Proposed Site Location

2022

RSRP Coverage - Proposed

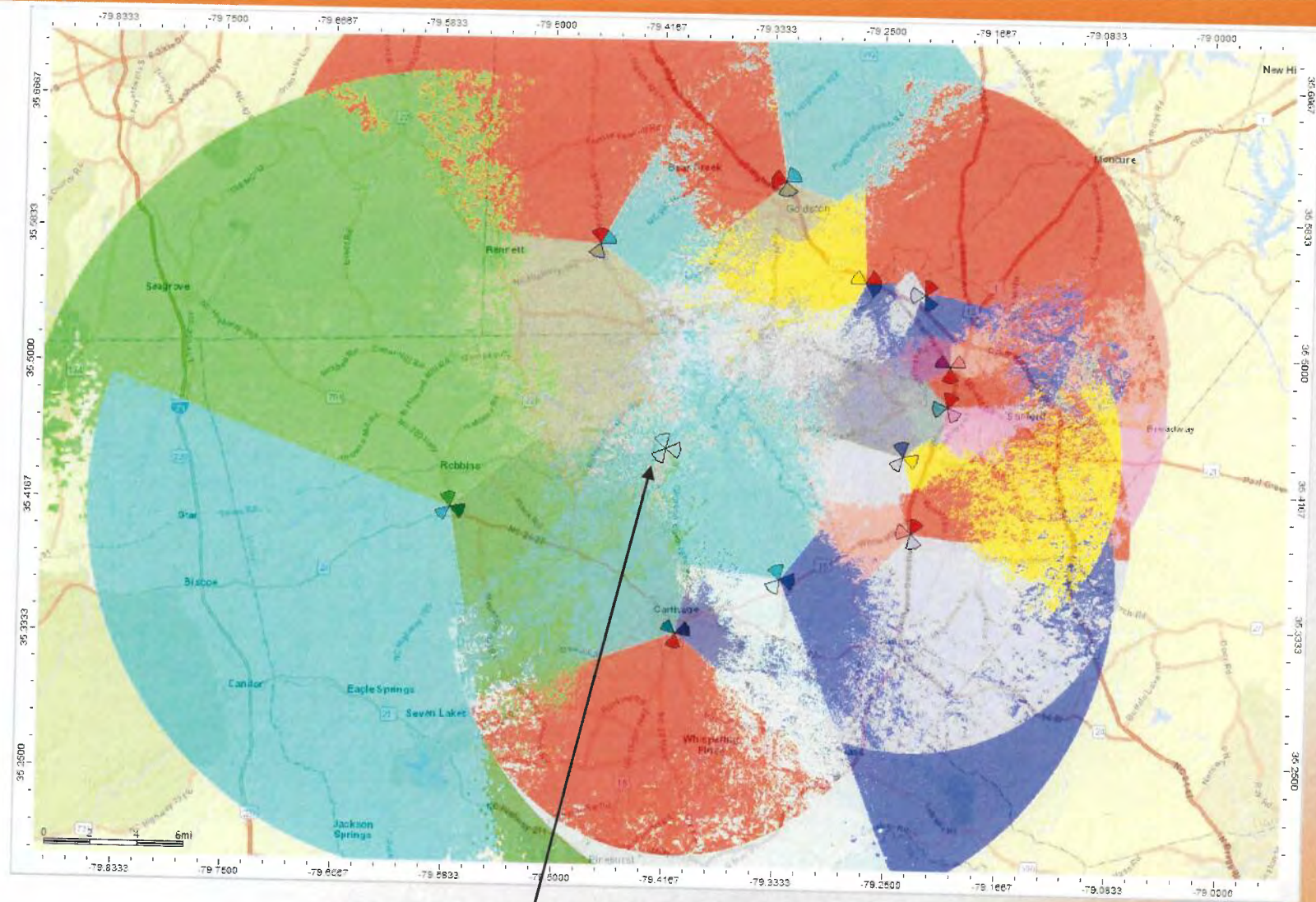
LEGEND	
	In-Building
	In-Vehicle
	On-Street



Proposed Site Location

2022

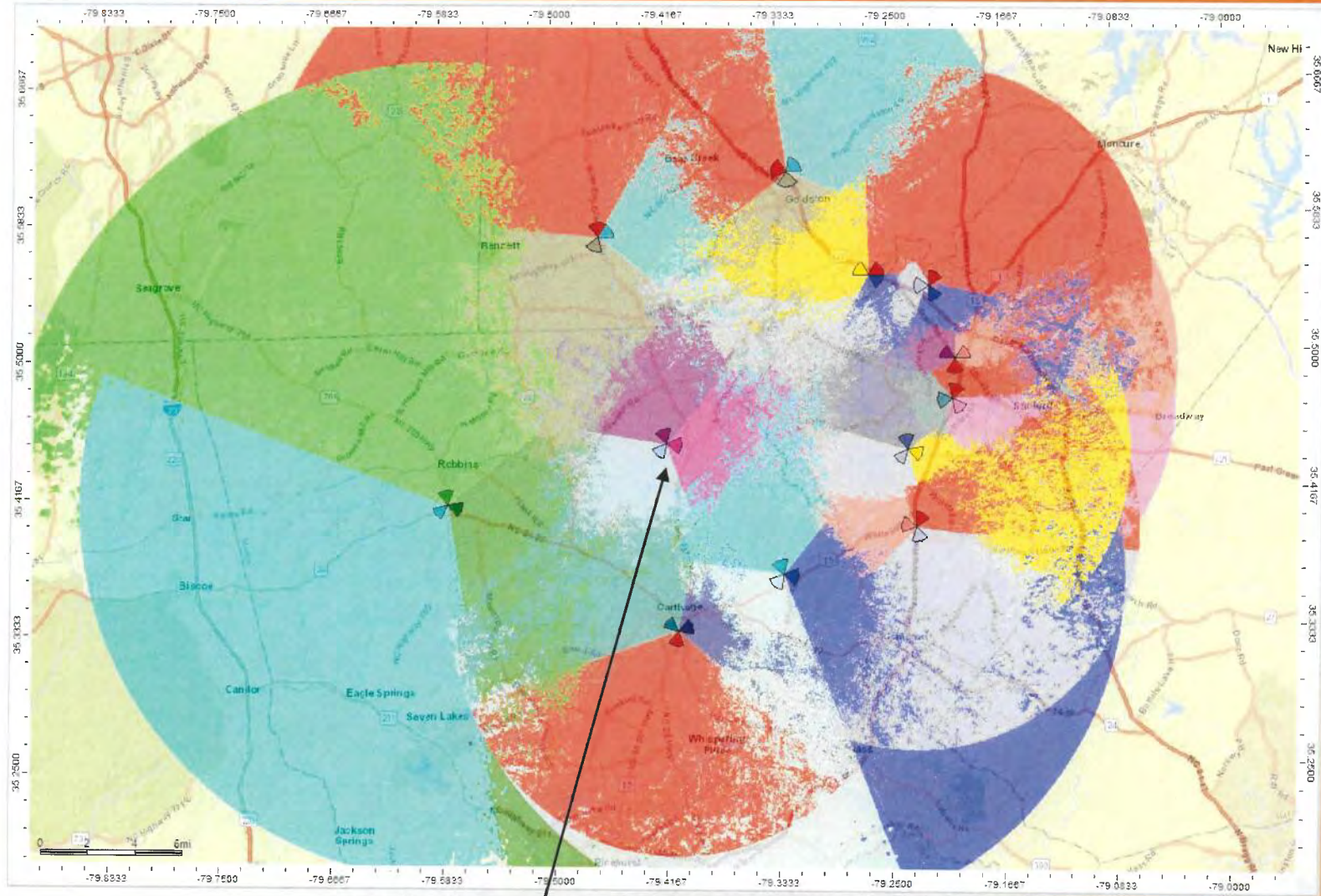
Best Server - Current



Proposed Site Location

2022

RSRP Coverage - Proposed



Proposed Site Location

2022



SITE NAME: JORDAN LUMBER
STRUCTURE TYPE: 255' SELF SUPPORT TOWER



SITE NAME: JORDAN LUMBER
SITE ADDRESS: COOL SPRINGS RD, CARTHAGE, NC 28327, MOORE COUNTY



DRAWN BY:		IL	
APPROVED BY:		TH	
DATE DRAWN:		01/03/22	
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	IL	01/03/22
O	ISSUED FOR REVIEW	IL	02/15/22

SHEET TITLE: COVER SHEET

SHEET NUMBER: T1.0

PROJECT INFORMATION	DRIVING DIRECTIONS	VICINITY MAP	SHEET INDEX
SITE NAME: JORDAN LUMBER E911 ADDRESS: COOL SPRINGS RD, CARTHAGE, NC 28327 LATITUDE: 35.446442° (35° 26' 47.19"N) LONGITUDE: -79.415428° (79° 24' 55.54"W) GROUND ELEVATION: 253' AMSL JURISDICTION: MOORE COUNTY STRUCTURE TYPE: 255' SELF SUPPORT TOWER PARCEL ID/PIN: 00003428/86700671721 PARENT PARCEL: 72.35 ACRES TOTAL LEASE AREA: 0.13 ACRES ACCESS/UTILITY EASEMENT: 0.24 ACRES CURRENT ZONING: RA	FROM RALEIGH-DURHAM INTERNATIONAL AIRPORT: GET ON I-40 W FROM AIRPORT BLVD 6MIN(2.9MI) / FOLLOW NC-540 W AND US-1 S TO NC-42 W/WICKER ST IN SANFORD. TAKE EXIT 66 FROM US-1 S 36MIN(41.6MI) / TAKE STEEL BRIDGE RD TO COOL SPRINGS RD IN MOORE COUNTY 21MIN(15MI) / DESTINATION WILL BE ON THE RIGHT.		SITE GENERAL ARRANGEMENT PLANS T1.0 COVER SHEET N1.0 GENERAL NOTES N1.1 GENERAL NOTES N1.2 GENERAL NOTES N1.3 APPENDIX B N1.4 APPENDIX B ARCHITECTURAL / CIVIL PLANS SITE SURVEY (BY OTHERS) A0.0 OVERALL SITE PLAN A0.1 OVERALL SITE PLAN W/ AERIAL IMAGE A0.2 PROPOSED GRADING & EROSION CONTROL PLAN A1.0 COMPOUND PLAN A2.0 TOWER ELEVATION A3.0 SITE DETAILS A3.1 FENCE DETAILS A3.2 SILT FENCE DETAILS A3.3 SIGNAGE DETAILS NOTE: DRAWING SCALES ARE FOR 22"x34" SHEETS UNLESS OTHERWISE NOTED.
SCOPE OF WORK	CONTACTS	AERIAL MAP	
THE WIRELESS COMMUNICATIONS FACILITY IS NOT INTENDED FOR HUMAN OCCUPANCY 1. INSTALLATION OF NEW WIRELESS COMMUNICATION FACILITY, 70'X70' FENCED COMPOUND WITH 255' SELF SUPPORT TOWER AND ELECTRICAL SERVICE DEMARC FOR FUTURE TENANTS	APPLICANT: MILESTONE TOWERS LIMITED PARTNERSHIP IV D/B/A MILESTONE TOWER 12110 SUNSET HILLS ROAD #600 RESTON, VA 20190 PROPERTY OWNER: JORDAN TWO, LLC P.O. BOX 98 MOUNT GILEAD, NC 27306 PROJECT MANAGER: MATT PENNING DIRECTOR OF DEVELOPMENT 12110 SUNSET RD. #600, RESTON, VA 20190 PHONE: (703) 865-4697 EMAIL: matt@milestonetowers.com ARCHITECT/ENGINEER: MOUNTAIN LTD. ENGINEERING 20008 CHAMPION FOREST DR., STE 1203 SPRING, TX 77379 CONTACT: TONY HUEBEL EMAIL: thuebel@mountainltd.com FIBER COMPANY: POWER COMPANY: DUKE ENERGY PHONE: (800) 777-9898		
APPLICABLE CODES & STANDARDS		SITE ACCESS PROCEDURES	
- 2018 NORTH CAROLINA BUILDING CODE - ANSI/TIA-222-G-2-2009 - 2017 NC ELECTRICAL CODE (2017 NEC) - 2018 NORTH CAROLINA ENERGY CONSERVATION CODE - CITY/COUNTY ORDINANCES			



ABBREVIATIONS

AFF

AGL

AMSL

APPROX

AWG

BLDG

BTS

CLR

COL

CONC

CND

DWG

FT

ECB

ELEC

EMT

ELEV

EQUIP

EXISTING

EXT

FND

F

GA

GALV

GPS

GND

LTE

MAX

MFR

MGB

MIN

N.T.S

NEW

O.C

OE/OT

PPC

RBS

RRU

RGS

IN

INT

LB(S) or #

SF

STL

TYP

UE/UT

UNO

VIF

W/

XFMR

ABOVE FINISHED FLOOR

ABOVE GRADE LEVEL

ABOVE MEAN SEA LEVEL

APPROXIMATE

AMERICAN WIRE GAUGE

BUILDING

BASE TRANSMISSION STATION

CLEAR

COLUMN

CONCRETE

CONDUIT

DRAWING

FOOT (FEET)

EQUIPMENT GROUND BAR

ELECTRICAL

ELECTRICAL METALLIC TUBING

ELEVATION

EQUIPMENT

EXISTING

EXTERIOR

FOUNDATION

FIBER

GAUGE

GALVANIZED

GLOBAL POSITIONING SYSTEM

GROUND

LONG TERM EVOLUTION

MAXIMUM

MANUFACTURER

MASTER GROUND BAR

MINIMUM

NOT TO SCALE

NEW

ON CENTER

OVERHEAD ELECTRIC/TELCO

POWER PROTECTION CABINET

RADIO BASED STATION

REMOTE RADIO UNIT

RIGID GALVANIZED STEEL

INCH(ES)

INTERIOR

POUND(S)

SQUARE FOOT

STEEL

TYPICAL

UNDERGROUND ELECTRIC/TELCO

UNLESS NOTED OTHERWISE

VERIFY IN FIELD

WITH

TRANSFORMER

LINE AND SYMBOL LEGEND

—X—

CHAIN-LINK FENCE BOUNDARY

—□—

WOOD FENCE BOUNDARY

—

UNDERGROUND ELECTRICAL CONDUIT AND FEEDER

—

UNDERGROUND TELEPHONE COMPANY CONDUIT TO TELCO DEMARK POINT

—H—

HYBRID CABLE

—C—

MAIN COAX FEEDER

—T—

TELCO WIRING

—E—

POWER WIRING

—G—

GROUND WIRING

—F—

FIBER CABLE

■

●

▲

CONNECTION (CADWELD OR EXOTHERMIC WELD TO STRUCTURE OR DEVICE)

—

GROUNDING BAR

—

GROUND POINT

□

○

METER

1.0 GENERAL REQUIREMENTS:

1.1 PURPOSE AND INTENT:

A. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND SUPPLEMENTARY. HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE DONE THE SAME AS IF SHOWN, INDICATED OR SPECIFIED IN BOTH. SHOULD THERE BE ANY DISCREPANCIES BETWEEN REQUIREMENTS SHOWN IN BOTH, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.

B. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS STIPULATED IN THE CONTRACT

C. THE PURPOSE OF THE CONSTRUCTION SPECIFICATIONS IS TO INTERPRET THE INTENT OF THE DRAWINGS AND TO DESIGNATE THE METHOD OF THE PROCEDURE, TYPE AND QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK

1.2 CONFLICTS:

A. VERIFY ALL MEASUREMENTS AT THE SITE BEFORE ORDERING MATERIAL OR DOING ANY WORK. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSIONS OR DIMENSIONS SHOWN ON PLANS. SUBMIT NOTICE OF ANY DISCREPANCY IN DIMENSIONS OR OTHERWISE TO TOWER OWNER FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.

B. NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST OR OF DIFFICULTIES OF CONDITIONS THAT MAY BE ENCOUNTERED, OR OF ANY OTHER RELEVANT MATTER CONCERNING THE EXECUTION OF THE WORK WILL BE ACCEPTED AS AN EXCUSE FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL EVERY DETAIL OF ALL THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS GOVERNING THE WORK.

1.3 CLEANING:

KEEP THE SITE FREE FROM ACCUMULATION OF WASTE AND RUBBISH CAUSED BY EMPLOYEES AT THE COMPLETION OF THE WORK. REMOVE ALL WASTE AND NON-CONSTRUCTION MATERIAL INCLUDING ALL CONTRACTOR TOOLS AND SURPLUS MATERIAL AND LEAVE SITE CLEAN AND READY FOR USE.

1.4 CODES:

CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING ALL LAWS, REGULATIONS AND RULES PROMULGATED BY FEDERAL STATE AND LOCAL AUTHORITIES WITH JURISDICTION OVER THE SITE. THIS RESPONSIBILITY IS IN EFFECT REGARDLESS OF WHETHER THE LAW, ORDINANCE, REGULATION OR RULE IS MENTIONED IN THESE SPECIFICATIONS.

1.5 LICENSING:

HAVE AND MAINTAIN A VALID CONTRACTORS LICENSE FOR THE LOCATION IN WHICH THE WORK IS TO BE PERFORMED. FOR JURISDICTIONS THAT LICENSE INDIVIDUAL TRADES, THE TRADESMAN OR SUBCONTRACTORS PERFORMING THOSE TRADES SHALL BE LICENSED. RESEARCH AND COMPLY WITH LICENSING LAWS, PAY LICENSE FEES, AND SELECT AND INFORM SUBCONTRACTORS REGARDING THESE LAWS.

1.6 OSHA:

FOLLOW ALL APPLICABLE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIONS, AND STATE LAWS BASED IN THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT. THESE REGULATIONS INCLUDE BUT ARE NOT LIMITED TO REGULATIONS DEALING WITH TOWER CONSTRUCTION AND SAFETY, EXCAVATIONS AND TRENCHING, AND WORK IN CONFINED SPACES. ENSURE THAT EMPLOYEES AND SUBCONTRACTORS WEAR HARD HATS AT ALL TIMES DURING CONSTRUCTION.

1.7 PHOTOS:

PROVIDE PHOTOGRAPHIC EVIDENCE OF ALL SCOPE RELATED WORK, INCLUDING BUT NOT LIMITED TO GROUNDING AND TRENCHING AFTER PLACEMENT OF UTILITIES PRIOR TO BACKFILL.

1.8 BUILDING PERMITS:

TOWER OWNER WILL SUBMIT CONSTRUCTION DOCUMENTS TO THE JURISDICTIONAL AUTHORITY FOR PLAN CHECK AND REVIEW. CONTRACTOR WILL SUBMIT LICENSING AND WORKMAN'S COMPENSATION INFORMATION TO THE JURISDICTION AS REQUIRED TO OBTAIN THE BUILDING PERMIT. CONTRACTOR SHALL COORDINATE AND SCHEDULE REQUIRED INSPECTIONS AND POST REQUIRED PERMITS AT THE JOB SITE. COMPLY WITH SPECIFIC PROJECT-RELATED REQUESTS AND SUGGESTIONS MADE BY BUILDING INSPECTOR AND INFORM CONSTRUCTION MANAGER OF ANY SUCH WORK THAT MAY BE BEYOND THE SCOPE OF THE CONTRACT OR DEVIATE FROM THE CONSTRUCTION DOCUMENTS.

1.9 ZONING REGULATIONS AND CONDITIONAL USE PERMITS:

TOWER OWNER WILL SUBMIT FOR AND OBTAIN ALL ZONING AND CONDITIONAL USE PERMITS. SOME USE PERMITS MAY HAVE SPECIFIC REQUIREMENTS RELATED TO THE CONSTRUCTION SUCH AS NOISE REGULATIONS, HOURS OF WORK, ACCESS LIMITATIONS, ETC. THE CONSTRUCTION MANAGER WILL INFORM THE CONTRACTOR OF THESE REQUIREMENTS AT THE PRE-BID MEETING OR AS SHOWN IN CONSTRUCTION DOCUMENTS.

1.10 TOWER SECURITY:

JOB SITE MUST BE FENCED, TEMPORARILY OR PERMANENTLY WITHIN 24 HOURS OF ERECTION. DO NOT ALLOW THE GATE ACCESSING THE TOWER AREA TO REMAIN OPEN OR UNATTENDED AT ANY TIME FOR ANY REASON. KEEP THE GATE CLOSED AND LOCKED WHEN NOT IN USE.

1.12 SITE CONTROL:

A. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR CONTAINMENT OF SEDIMENT AND CONTROL OF EROSION AT THE SITE. ANY DAMAGE TO ADJACENT OR DOWNSTREAM PROPERTIES WILL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO TOWER OWNER.

B. THE CONTRACTOR IS TO MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO STAND OR POND. ANY DAMAGE TO STRUCTURES OR WORK ON THE SITE CAUSED BY INADEQUATE MAINTENANCE OF DRAINAGE PROVISIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANY COST ASSOCIATED WITH REPAIRS FOR SUCH DAMAGE WILL BE AT THE CONTRACTOR'S EXPENSE.

C. ALL WASTE MATERIAL SHALL BE PROPERLY DISPOSED OF OFF-SITE OR AS DIRECTED BY THE CONSTRUCTION MANAGER AND IN ACCORDANCE WITH JURISDICTIONAL AUTHORITIES.

2.0 SITE PREPARATION:

2.1 SCOPE OF WORK INCLUDES:

A. PROTECTION OF EXISTING TREES, VEGETATION AND LANDSCAPING MATERIALS WHICH MIGHT BE DAMAGED BY CONSTRUCTION ACTIVITIES.

B. TRIMMING OF EXISTING TREES AND VEGETATION AS REQUIRED FOR PROTECTION DURING CONSTRUCTION ACTIVITIES.

C. CLEARING AND GRUBBING OF STUMPS, VEGETATION, DEBRIS, RUBBISH, DESIGNATED TREES, AND SITE IMPROVEMENTS.

D. TOPSOIL STRIPPING AND STOCKPILING.

E. TEMPORARY EROSION CONTROL, SILTATION CONTROL AND DUST CONTROL CONFORMING TO LOCAL REQUIREMENTS AS APPLICABLE.

F. TEMPORARY PROTECTION OF ADJACENT PROPERTY, STRUCTURES, BENCHMARKS AND MONUMENTS.

G. PROTECTION AND TEMPORARY RELOCATION, STORAGE AND RE-INSTALLATION OF DUSTING FENCING AND OTHER SITE IMPROVEMENTS SCHEDULED FOR REUSE.

H. REMOVAL AND LEGAL DISPOSAL OF CLEARED MATERIALS.

2.2 PRODUCTS AND MATERIALS (AS APPROVED BY CONSTRUCTION MANAGER OR AS NOTED IN CONSTRUCTION DOCUMENTS):

A. MATERIALS USED FOR TREE PROTECTION, EROSION CONTROL, SILTATION CONTROL AND DUST CONTROL AS SUITABLE FOR SPECIFIC SITE CONDITIONS.

3.0 EARTH WORK:

3.1 SCOPE OF WORK INCLUDES:

A. EXCAVATION, TRENCHING, FILLING, COMPACTION, AND GRADING FOR STRUCTURES, SITE IMPROVEMENTS AND UTILITIES.

B. MATERIALS FOR SUB-BASE DRAINAGE FILL, FILL, BACKFILL AND GRAVEL FOR SLABS, PAVEMENTS AND IMPROVEMENTS.

C. ROCK EXCAVATION WITHOUT BLASTING.

D. SUPPLY OF ADDITIONAL MATERIALS FROM OFFSITE AS REQUIRED.

E. REMOVAL AND LEGAL DISPOSAL OF EXCAVATED MATERIALS AS REQUIRED.

3.2 QUALITY ASSURANCE:

A. COMPACTION:

1. UNDER STRUCTURES, BUILDING SLABS, PAVEMENTS AND WALKWAYS WILL OBTAIN A 95 PERCENT COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 OR WITHIN PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE.

B. GRADING TOLERANCES OUTSIDE BUILDING CODES:

1. LAWNS, UNPAVED AREAS AND WALKS PLUS OR MINUS 1 INCH.

2. UNDER PAVEMENTS PLUS OR MINUS 1/2 INCH.

C. GRADING TOLERANCE FOR FILL UNDER ALL CONCRETE APPLICATIONS: PLUS OR MINUS 1/2 INCH MEASURED WITH 10 FOOT STRAIGHTEDGE.

3.3 PRODUCTS AND MATERIALS (AS APPROVED BY CONSTRUCTION MANAGER OR AS NOTED IN CONSTRUCTION DOCUMENTS):

A. SUBBASE MATERIAL GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE OR SLAG, AND NATURAL SAND.

B. WASHED MATERIAL EVENLY GRADED MIXTURE OF CRUSHED STONE OR GRAVEL WITH 95 PERCENT PASSING A 1 1/2 INCH SIEVE.

C. GRADING MATERIAL WILL CONSIST OF: SATISFACTORY NATIVE OR IMPORTED SOIL MATERIALS FREE OF CLAY, ROCK OR GRAVEL NOT LARGER THAN 2 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS AND OTHER UNSUITABLE MATERIALS WILL NOT BE ALLOWED FOR USE. IMPORTED MATERIALS SHALL HAVE A CLAY CONTENT NO MORE THAN 5 PERCENT.

PREPARED FOR:

verizon

Milestone Towers

MILESTONE TOWERS

12110 SUNSET HILLS ROAD #600

RESTON, VA 20190

SITE NAME:

JORDAN LUMBER

SITE ADDRESS:

COOL SPRINGS RD

CARTHAGE, NC 28327

MOORE COUNTY

STAMP:

NORTH CAROLINA

PROFESSIONAL

SEAL

036489

ENGINEER

ANTHONY L. HUEBEL

MOUNTAIN ENGINEERING

OF NORTH CAROLINA, PLLC

FIRM# P-2302

DRAWN BY:

IL

APPROVED BY:

TH

DATE DRAWN:

01/03/22

REVISION

NO

DESCRIPTION

BY

DATE

A

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ISSUED FOR REVIEW

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02/15/22

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

N1.0

- D. BACKFILL MATERIALS WILL CONSIST OF: SATISFACTORY NON-COHESIVE NATIVE OR IMPORTED SOIL MATERIALS FREE OF CLAY, ROCK OR GRAVEL NOT LARGER THAN 4 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, AND OTHER UNSUITABLE MATERIALS. IMPORTED MATERIAL SHALL HAVE A CLAY CONTENT OF NO MORE THAN 5 PERCENT.
- E. GRAVEL MATERIAL EVENLY GRADED MIXTURE OF CRUSHED STONE OR GRAVEL WITH 95 PERCENT PASSING A 1 1/2 INCH SIEVE.
- F. GEOTEXTILE FABRIC: AS PER CONSTRUCTION DOCUMENTS.

3.4 CLEARING AND GRUBBING REMOVE ALL VEGETATION AND MATERIALS AS REQUIRED. REMOVE STUMPS COMPLETELY UNDER FOUNDATIONS AND ROADWAY. DISPOSE OF CLEARING AND GRUBBING OFF-SITE, OR IN AN ON-SITE LOCATION APPROVED BY CONSTRUCTION MANAGER.

3.5 STRIPPING:

STRIP NOT LESS THAN 3 INCHES OF SOD AND TOPSOIL FROM AREAS THAT WILL UNDERLAY GRAVEL PAVEMENT, NEW STRUCTURES OR NEW EMBANKMENTS. STOCKPILE STRIPPING ON-SITE FOR RE-USE IN FINAL LANDSCAPING.

3.6 COMMON EXCAVATION:

- A. EXCAVATE TO DEPTH, LINES AND GRADES SHOWN ON THE PLANS OR AS OTHERWISE SPECIFIED.
- B. TEMPORARILY STOCKPILE ON-SITE EXCAVATION AT AN APPROVED LOCATION WITHIN THE WORK AREA UNTIL SITE GRADING IS COMPLETE. STOCKPILE SHALL NOT EXCEED 15 FEET IN HEIGHT.
- C. LEGALLY DISPOSE OF EXCESS COMMON EXCAVATION OFF-SITE.

3.7 EMBANKMENT:

- A. CONSTRUCT EMBANKMENT TO THE LINES AND GRADE SHOWN ON THE DRAWINGS.
- B. CONSTRUCT EMBANKMENT FROM ON-SITE EXCAVATION MATERIALS WHEN SUITABLE USE IMPORTED BACKFILL ONLY AFTER AVAILABLE ON-SITE EXCAVATION MATERIALS HAVE BEEN USED.
- C. CONSTRUCT IN LIFTS OF NOT MORE THAN 12 INCHES IN LOOSE DEPTH. THE FULL WIDTH OF THE CROSS SECTION SHALL BE BROUGHT UP UNIFORMLY.
- D. MATERIAL SHALL NOT BE PLACED IN LAYERS AND SHALL BE NEAR OPTIMUM MOISTURE CONTENT BEFORE ROLLING TO OBTAIN THE PRESCRIBED COMPACTION. WETTING OR DRYING OF THE MATERIAL AND MANIPULATION TO SECURE A UNIFORM MOISTURE CONTENT THROUGHOUT THE LAYER MAY BE REQUIRED. SUCH OPERATIONS SHALL BE INCLUDED IN THE APPROPRIATE BID ITEM. SHOULD THE MATERIAL BE TOO WET TO PERMIT PROPER COMPACTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO UTILIZE MATERIAL WITH AN ACCEPTABLE MOISTURE CONTENT.
- E. DO NOT PLACE FROZEN MATERIAL IN THE EMBANKMENT AND DO NOT PLACE EMBANKMENT MATERIAL UPON FROZEN MATERIAL.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF EMBANKMENTS AND THE REPLACEMENT OF ANY PORTION WHICH HAS BECOME DISPLACED DUE TO THE CONTRACTORS OPERATIONS.
- G. START LAYERS IN THE DEEPEST PORTION OF THE FILL, AND AS PLACEMENT PROGRESSES, CONSTRUCT LAYERS APPROXIMATELY PARALLEL TO THE FINISHED GRADE LINE.
- H. ROUTE EQUIPMENT, BOTH LOADED AND EMPTY, OVER THE FULL WIDTH OF EMBANKMENT TO ENSURE UNIFORMITY OF MATERIAL PLACEMENT.
- I. COMPACT EMBANKMENT UNDERLYING NEW GRAVEL PAVING FLOOR SLABS AND STRUCTURES TO A 95 PERCENT COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 OR WITHIN PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE CONTENT. COMPACT NON-STRUCTURAL AREA EMBANKMENTS TO A MINIMUM OF 90 % OF ASTM D-1557.

3.8 SITE GRADING:

- A. USING ON-SITE EXCAVATION MATERIALS SHAPE, TRIM, FINISH AND COMPACT SURFACE AREAS TO CONFORM TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE DRAWINGS OR AS DESIGNATED BY THE CONSTRUCTION MANAGER.
- B. GRADE SURFACES TO DRAIN AND ELIMINATE ANY PONDING OR EROSION.
- C. ELIMINATE WHEEL RUTS BY REGRADING.
- D. COMPACT AREAS UNDERLYING NEW GRAVEL PAVING, FLOOR SLABS AND STRUCTURES TO A 95 PERCENT COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1551 OR WITHIN PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
- E. CONSTRUCT FINISHED SURFACE OF SITE GRADING AREAS WITHIN ONE INCH FROM SPECIFIED GRADE.

3.9 SUBGRADE PREPARATION:

- A. SHAPE TOP OF SUBGRADE TO THE LINES AND GRADES SHOWN ON THE DRAWINGS.
- B. MAINTAIN TOP OF SUBGRADE TO A FREE-DRAINING CONDITION.

- C. DO NOT STOCKPILE MATERIALS ON TOP OF SUBGRADE UNLESS AUTHORIZED BY CONSTRUCTION MANAGER.
- D. COMPACT THE TOP 12 INCHES OF SUBGRADE TO A 95% COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 OR WITHIN PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
- C. CONSTRUCT TOP OF SUBGRADE WITHIN ONE INCH OF ESTABLISHED GRADE AND CROSS-SECTION.

3.10 GEOTEXTILE FABRIC:

- A. LAY GEOTEXTILE FABRIC OVER COMPACTED SUBGRADE AS PER CONSTRUCTION DOCUMENTS IN THE COMPOUND AREA AND UNDER LENGTH OF ROAD (WHEN REQUIRED). LAP ALL JOINTS TO A MINIMUM OF 36 INCHES.

3.11 GRAVEL SURFACING:

- A. CONSTRUCT GRAVEL SURFACING AREAS USING CRUSHED AGGREGATE BASE AND FINISH COURSES AS SPECIFIED BY CONSTRUCTION MANAGER OR CONSTRUCTION DOCUMENTS.
- B. SPREAD GRAVEL AND RAKE TO OBTAIN A UNIFORM SURFACE AREA.

4.0 TRENCHING:

CALL LOCAL UNDERGROUND UTILITY LOCATING SERVICE BEFORE ANY EXCAVATION OR TRENCHING.

4.1 MATERIALS:

FILL MATERIAL SHALL BE OBTAINED, WHEN POSSIBLE FROM MATERIALS EXCAVATED FROM TRENCHES. ON-SITE STRUCTURAL FILL SAND OR SLURRY SHALL BE APPROVED BY THE CONSTRUCTION MANAGER AND SHALL CONFORM TO LOCAL GOVERNING JURISDICTIONS AND UTILITY COMPANY REQUIREMENTS. THE FILL MATERIAL SHALL CONTAIN NO ORGANIC MATERIAL OR ROCKS, NOR SHALL CONTAIN OBJECTIONABLE MATERIALS AND/OR MATERIALS DESIGNATED AS HAZARDOUS OR INDUSTRIAL BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE FILL MATERIAL SHALL CONTAIN FINES SUFFICIENT TO FILL ALL VOIDS IN THE MATERIAL. COMPACTION OF BACKFILL OR BORROW SOIL SHALL BE PLACED IN 12 INCH LOOSE LIFTS WHEN UTILIZING HEAVY COMPACTION EQUIPMENT OR 6 INCH LOOSE LIFTS WHEN UTILIZING HAND OPERATED TAMPERS.

4.2 PIPE DETECTION AND IDENTIFICATION:

- A. UTILIZING WARNING TAPE: ALL ELECTRIC SERVICE TRENCHES SHALL BE MARKED WITH WARNING TAPE.

4.3 TRENCH EXCAVATION:

- A. DIG TRENCH TO LINES AND GRADES SHOWN ON THE PLANS OR AS DIRECTED BY CONSTRUCTION MANAGER.
- B. TRENCH LENGTH SHALL BE SUFFICIENT TO ALLOW FOR SATISFACTORY CONSTRUCTION AND INSPECTION OF THE PROJECT WITHOUT ENDANGERING OTHER CONSTRUCTION WORK OR ADJACENT FACILITIES.
- C. DISPOSE OF EXCESS AND UNSUITABLE EXCAVATION MATERIAL PROPERLY, AS DIRECTED BY CONSTRUCTION MANAGER.
- D. USE HAND METHODS FOR EXCAVATION THAT CANNOT BE ACCOMPLISHED WITHOUT ENDANGERING EXISTING OR NEW STRUCTURES OR OTHER FACILITIES.

4.4 TRENCH PROTECTION:

- A. PROVIDE MATERIALS, LABOR AND EQUIPMENT NECESSARY TO PROTECT TRENCHES AT ALL TIMES.
- B. SHEETING AND BRACING (MEET OR EXCEED OSHA REQUIREMENTS).

4.5 BACKFILLING:

- A. TRENCH TO BE BACKFILLED DAILY.
- B. BACKFILL TRENCH WITH LIFTS UP TO 12 INCHES, LOOSE MEASURE.

- C. PROTECT CONDUIT FROM LATERAL MOVEMENT, DAMAGE FROM IMPACT OR UNBALANCED LOADING TO AVOID DISPLACEMENT OF CONDUIT AND/OR STRUCTURES. DO NOT FREE FALL BACKFILL INTO TRENCH UNTIL AT LEAST 12 INCHES OF COVER IS OVER THE CONDUIT.

4.6 COMPACTION:

- A. COMPACT BACKFILL TO A 95 PERCENT COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 OR WITHIN PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
- B. IF REQUIRED COMPACTION DENSITY HAS NOT BEEN OBTAINED, REMOVE THE BACKFILL FROM THE TRENCH OR STRUCTURE, REPLACE WITH APPROVED BACKFILL AND RECOMPACT AS SPECIFIED.

- C. ANY SUBSEQUENT SETTLEMENT OF TRENCH OR STRUCTURE BACKFILL DURING MAINTENANCE PERIOD SHALL BE CONSIDERED THE RESULT OF IMPROPER COMPACTION AND SHALL BE PROMPTLY CORRECTED.

5.0 CHAIN LINK FENCES AND GATES:

5.1 GENERAL:

- A. PROVIDE CHAIN LINK FENCES AND GATES AS COMPLETE UNITS BY A SINGLE SUPPLY SOURCE INCLUDING NECESSARY ERECTION ACCESSORIES, FITTINGS AND FASTENERS.

5.2 PRODUCTS AND MATERIALS (AS APPROVED BY CONSTRUCTION MANAGER OR AS WITHIN CONSTRUCTION DOCUMENTS):

- A. COMPOUND FABRIC 96 INCHES HIGH AND OVER WITH 2-INCH MESH SHALL BE KNUCKLED AT ONE SELVAGE AND TWISTED AT THE OTHER.

- B. STEEL FABRIC:

COMPLY WITH CHAIN LINK FENCE MANUFACTURERS INSTITUTE (CLFMI) PRODUCT MANUAL. FURNISH ONE PIECE OF FABRIC WIDTHS. WIRE SIZE INCLUDES ZINC OR ALUMINUM COATING.

- C. FRAMEWORK AND ACCESSORIES:

1. GENERAL REQUIREMENTS: EXCEPT AS INDICATED OTHERWISE CONFORM TO THE CHAIN LINK FENCE MANUFACTURERS INSTITUTE (CLFMI) PRODUCT MANUAL. INDUSTRIAL STEEL GUIDE FOR FENCE RAILS, POSTS, GATES AND ACCESSORIES INCLUDING TABLE 1.

- D. SWING GATES:

1. HINGES: NON LIFT-OFF TYPE, OFFSET TO PERMIT ISO DEG. GATE OPENING.
2. LATCH: STYMIELOCK.

3. KEEPER: PROVIDE KEEPER FOR VEHICLE GATES, WHICH AUTOMATICALLY ENGAGES GATE LEAF AND HOLDS IT IN OPEN POSITION UNTIL MANUALLY RELEASED.

- E. CONCRETE:

PROVIDE CONCRETE CONSISTING OF PORTLAND CEMENT, ASTM C 150, AGGREGATES ASTM C 33, AND CLEAN WATER. MIX MATERIALS TO OBTAIN CONCRETE WITH A MINIMUM OF 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.

6.0 LANDSCAPING:

- A. FURNISH, INSTALL AND MAINTAIN LANDSCAPE WORK AS SHOWN AND OR REQUIRED WITHIN THE CONSTRUCTION DOCUMENTS OR AS SPECIFIED IN THE TOWER OWNERS CONSTRUCTION SPECIFICATIONS.

7.0 CONCRETE FORMWORK:

- A. FORMS: SMOOTH AND FREE OF SURFACE IRREGULARITIES. UTILIZE FORM RELEASE AGENTS.

- B. CHAMFER: EXPOSED EDGES OF ALL TOWER FOUNDATIONS SHALL RECEIVE A 3/4" BY 3/4" 45 DEGREE CHAMFER. OTHER EXPOSED EDGES SHALL RECEIVE A TOOLED RADIUS FINISH.

- C. UPON COMPLETION, REMOVE ALL FORMS, INCLUDING THOSE CONCEALED OR BURIED.

- D. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.

8.0 CONCRETE REINFORCEMENT:

REFER TO STRUCTURAL DRAWINGS FOR ALL REQUIREMENTS.

PREPARED FOR:

verizon



**Milestone
Towers**

MILESTONE TOWERS
12110 SUNSET HILLS ROAD #600
RESTON, VA 20190

SITE NAME:

JORDAN LUMBER

SITE ADDRESS:
COOL SPRINGS RD
CARTHAGE, NC 28327
MOORE COUNTY

STAMP:



MOUNTAIN ENGINEERING
OF NORTH CAROLINA, PLLC
FIRM# P-2302

DRAWN BY:	IL		
APPROVED BY:	TH		
DATE DRAWN:	01/03/22		
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	IL	01/03/22
0	ISSUED FOR REVIEW	IL	02/15/22

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

N1.1

9.0 CAST IN PLACE CONCRETE:

FOR STRUCTURAL CONCRETE (FOOTINGS, FOUNDATIONS, ETC.), REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS. FOR ANY MISCELLANEOUS CONCRETE, REFER TO SPECIFICATION BOOK OR OBTAIN REQUIREMENTS FROM CONSTRUCTION MANAGER.

A. ALL CONCRETE SHALL COMPLY WITH ASTM C94 UNLESS NOTED OTHERWISE.

B. MINIMUM COMPRESSIVE STRENGTH (F'C) AT 28 DAYS: 5000 PSI FOR TOWER FOUNDATION AND 3500 PSI FOR ALL OTHER CONCRETE UNLESS SPECIFIED IN CONSTRUCTION DOCUMENTS.

C. AIR ENTRAINMENT:

PROVIDE 4 TO 8% AIR ENTRAINMENT FOR ALL CONCRETE SUBJECT TO FREEZE-THAW CYCLE.

D. CONCRETE TESTING:

ALL FOUNDATION CONCRETE SHALL BE TESTED BY AN INDEPENDENT TESTING AGENCY CONTRACTED BY THE CONSTRUCTION MANAGER. ALL STRUCTURAL TOWER FOUNDATION CONCRETE FOUNDATION FOR EQUIPMENT OR BUILDING PADS ARE NOT REQUIRED TO BE TESTED, UNLESS OTHERWISE NOTED BY CONSTRUCTION MANAGER. PROVIDE A MINIMUM OF 5 CYLINDERS (2-7-DAY, 2-28-DAY, 1-SPARE) FOR EACH OATS POUR, OR FOR EVERY 50 YARDS PLACED, WHICHEVER IS GREATER. ADDITIONAL TESTS OR CYLINDERS MAY BE REQUIRED BY CONSTRUCTION MANAGER. A SLUMP, AIR, AND TEMPERATURE TEST SHALL BE PERFORMED FOR EACH SET OF CYLINDERS CAST. PREFERABLY, TESTS SHALL BE PERFORMED AT THE LOCATION OF ANCHOR BOLTS (PIERS - FOR MAT & PIERS, CAISSONS TOP 1/3 OF CAISSON). TESTS SHALL ALSO BE REQUIRED FOR CONCRETE CONSIDERED BEING LESS THAN DESIRABLE BY CONCRETE SPECIFICATION STANDARDS. THE TESTING AGENCY HAS THE AUTHORITY TO NOT ACCEPT CONCRETE MEETING THESE SPECIFICATIONS FOR THE TOWER OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY CONCRETE NOT MEETING THESE STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE TESTING AGENCY A MINIMUM OF 24 HOURS IN ADVANCE OF EACH FOUNDATION POUR. TEST REPORTS SHALL BE FORWARDED TO THE TOWER OWNERS CONSTRUCTION MANAGER WITHIN 24 HOURS OF LAB TEST.

E. VIBRATE ALL CONCRETE USING SUFFICIENT HIGH FREQUENCY LOW AMPLITUDE MECHANICAL IMMERSION TYPE VIBRATORS. INSERT VIBRATORS IN CONCRETE AT REGULAR INTERVALS AND OVER ENTIRE SURFACE TO SOLIDLY FILL CONCRETE. MECHANICAL IMMERSION TYPE VIBRATORS. INSERT VIBRATORS IN CONCRETE AT REGULAR INTERVALS AND OVER ENTIRE SURFACE TO SOLIDLY FILL CONCRETE AROUND AND BETWEEN REINFORCEMENT BARS AND INTO CORNERS AND IRREGULARITIES. VIBRATE THOROUGHLY THROUGH EACH LIFT TO THE PREVIOUS LIFT REVERBERATION AS LATE AS THE RUNNING VIBRATOR WILL SINK THROUGH UPPER LAYERS OF ITS WEIGHT IS RECOMMENDED. DISCONTINUE VIBRATION WHEN RISING ENTRAPPED AIR BUBBLES STOP BREAKING THE LEVELING SURFACE. DO NOT OVER VIBRATE AS THIS MAY CAUSE SEGREGATION.

F. FINISHING EXPOSED CONCRETE SURFACES:

1. THESE PROVISIONS APPLY TO ALL EXPOSED AND ALL FORMED CONCRETE, EXTERIOR OR INTERIOR. UNLESS SPECIFICALLY DETAILED OTHERWISE, PERFORM PROCEDURES PRIOR TO APPLICATION OF ANY CURING COMPOUNDS.
2. ALL SURFACES: THOROUGHLY CLEAN OFF ALL STAINS, SPATTER AND LOOSE MATERIAL.
3. FINS, RIDGES AND HIGH SPOTS: HONE SMOOTH WITH ABRASIVE POWER GRINDERS WHILE CONCRETE IS GREEN, IMMEDIATELY AFTER FORM REMOVAL.
4. FORM TIE HOLES AND DEEP DEPRESSIONS: FLUSH THOROUGHLY WITH CLEAN WATER AND TAMP TO OVERFULL WITH DRYPACK. CURE 10 DAYS AND HONE FLUSH AND SMOOTH.
5. ROCK POCKETS, HONEYCOMB, SAND STREAKS, DEBRIS AND VOIDS: CUT OUT AT LEAST 1 INCH DEEP WITH SIDES PERPENDICULAR TO SURFACE. FLUSH THOROUGHLY WITH CLEAN WATER, COAT SURFACE WITH NEAT CEMENT PASTE AND TAMP TO OVERFULL WITH DRYPACK IN AT LEAST TWO LAYERS. CURE FOR 10 DAYS AND HONE FLUSHED AND SMOOTH.

G. CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF ALL ELECTRICAL OPENINGS AND EQUIPMENT/BUILDING PADS WITH THE ELECTRICAL DRAWINGS AND SHOP DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL OPENINGS AND SLEEVES FOR PROPER DISTRIBUTION FOR ALL UTILITIES. CONTRACTOR SHALL REFER TO DRAWINGS OF OTHER TRADES AND VENDOR DRAWINGS FOR EMBEDDED ITEMS AND RECESSES NOT SHOWN ON STRUCTURAL DRAWINGS. PRIOR TO POURING CONCRETE THE INDEPENDENT TESTING AGENCY SHALL INSPECT ALL FOUNDATION STEEL AND FOUNDATION SUBGRADE.

10.0 STRUCTURAL STEEL:

MEET OR EXCEED MANUFACTURER'S RECOMMENDATIONS.

A. UNLESS OTHERWISE NOTED, ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM TO THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315)

B. ALL REINFORCING STEEL SHALL BE NEW BILLET STEEL, CONFORMING TO ASTM A-615, GRADE 60, DEFORMED.

C. HEATING AND WELDING OF BARS IS PROHIBITED WITH THE EXCEPTION OF WRITTEN APPROVAL BY THE STRUCTURAL ENGINEER

D. ALL REINFORCEMENT BARS TO BE FREE FROM LOOSE RUST AND SCALE

E. UNLESS OTHERWISE NOTED, ALL REINFORCEMENT SHALL HAVE A MINIMUM CONCRETE COVERAGE OF 3 INCHES. THIS MAY REQUIRE SPACERS AND CHAIRS AS REQUIRED BY TESTING AGENCY OR CONSTRUCTION MANAGER

F. SPLICES IN REINFORCEMENT STEEL ARE PROHIBITED, UNLESS APPROVED BY CONSTRUCTION MANAGER. ALL SPLICES MUST THEN MEET ALL APPLICABLE ASTM STANDARDS FOR SPLICING

11.0 GROUNDING:

MEET ALL APPLICABLE CODES, REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS AND TOWER OWNERS CONSTRUCTION SPECIFICATIONS

PREPARED FOR:

verizon



Milestone
Towers

MILESTONE TOWERS
12110 SUNSET HILLS ROAD #600
RESTON, VA 20190

SITE NAME:

JORDAN LUMBER

SITE ADDRESS:
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CARTHAGE, NC 28327
MOORE COUNTY

STAMP:



MOUNTAIN ENGINEERING
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FIRM# P-2302

DRAWN BY:		IL	
APPROVED BY:		TH	
DATE DRAWN:		01/03/22	
REVISION			
NO	DESCRIPTION	BY	DATE
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GENERAL NOTES

SHEET NUMBER:

N1.2

(SECTION 1106)

LOT OR PARCEL AREA	PERCENT OF PARKING SPACE		PERCENT OF ACCESSIBLE PARKING SPACE			TOTAL ACCESSIBLE PROVIDED
	REQUIRED	PROVIDED	REGULAR WITH ACCESS	1ST ACCESS	2ND ACCESS	
NA						
TOTAL						

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

USE	SPACE	TOILETS			URINALS	SINKS			SHOWERS	TUBS	DRESSING SINKS	
		MALE	FEMALE	JOINT		MALE	FEMALE	JOINT			MALE	FEMALE
TYPE												
REQ'D												

SPECIAL APPROVALS

Special approval: (Local jurisdiction, Department of Insurance, SCO, DPI, DHHS, ICC, etc., describe below)

2018 NC Administrative Code and Policies Appendix B for Building

ENERGY SUMMARY

ENERGY REQUIREMENTS:

The following data shall be considered minimum and any special attribute required to meet the North Carolina Energy Conservation Code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs. annual energy cost for the proposed design.

Existing building envelope complies with code ☐ No ☐ Yes (The remainder of this section is not applicable)

Exempt Building ☐ No ☐ Yes (Provide Code or Section reference)

Climate Zone: ☐ 3A ☐ 4A ☐ 5A

Method of Compliance: Energy Code ☐ Performance ASHRAE 90.1 ☐ Performance (If Other, specify source here) ☐ Prescriptive ☐ Prescriptive

THERMAL ENVELOPE (Prescriptive method only)

Roof ceiling Assembly (each assembly):

Description of assembly: NA

U-Value of total assembly: _____

R-Value of insulation: _____

Skylights in each assembly: _____

U-Value of skylight: _____

Total square footage of skylights in each assembly: _____

Exterior Walls (each assembly):

Description of assembly: NA

U-Value of total assembly: _____

R-Value of insulation: _____

Openings (windows or doors with glazing): _____

U-Value of assembly: _____

Solar heat gain coefficient: _____

Projection factor: _____

Door R-Value: _____

Walls below grade (each assembly):

Description of assembly: NA

U-Value of total assembly: _____

R-Value of insulation: _____

Floors over unconditioned space (each assembly):

Description of assembly: NA

U-Value of total assembly: _____

R-Value of insulation: _____

Floors slab on grade:

Description of assembly: NA

U-Value of total assembly: _____

R-Value of insulation: _____

Horizontal Vertical equipment: _____

Slab Heated: _____

2018 NC Administrative Code and Policies Appendix B for Building

2018 APPENDIX B

BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

STRUCTURAL DESIGN

(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:

Importance Factors: Snow (Is) _____ Seismic (Is) _____

Live Load: Roof _____ psf Mezzanine _____ psf Floor _____ psf

Ground Snow Load: _____ psf

Wind Load: Ultimate Wind Speed _____ mph (ASCE-7) Exposure Category: _____

SEISMIC DESIGN CATEGORY: ☐ A ☐ B ☐ C ☐ D

Provide the following Seismic Design Parameters:

Risk Category (Table 1604.5) ☐ I ☐ II ☐ III ☐ IV

Spectral Response Acceleration S_s _____ g S₁ _____ g

Site Classification (ASCE 7) ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F

Data Source: ☐ Field Test ☐ Prescriptive ☐ Historical Data

Basic structural system: ☐ Bearing Wall ☐ Dual w/ Special Moment Frame ☐ Building Frame ☐ Dual w/ Intermediate R.C. or Special Steel ☐ Nonmoment Frame ☐ Inverted Pendulum ☐ Simplified ☐ Equivalent Lateral Force ☐ Dynamic

Analysis Procedure: ☐ Architectural, Mechanical, Components anchored? ☐ Yes ☐ No

LATERAL DESIGN CONTROL: Earthquake ☐ Wind ☐

SOIL BEARING CAPACITIES

Field Test (provide copy of test report) _____ psf

Presumptive Bearing capacity _____ psf

Pile size, type and capacity: _____

2018 NC Administrative Code and Policies Appendix B for Building

2018 APPENDIX B

BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

MECHANICAL DESIGN

(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone: winter dry bulb: NA summer dry bulb: _____

Interior design conditions: winter dry bulb: NA summer dry bulb: _____ relative humidity: _____

Building heating load: NA

Building cooling load: NA

Mechanical Space Conditioning System:

Unitary: description of unit: NA heating efficiency: _____ cooling efficiency: _____ size category of unit: _____

Boiler: Size category: If oversized, state reason: NA

Chiller: Size category: If oversized, state reason: NA

List equipment efficiencies: _____

2018 NC Administrative Code and Policies Appendix B for Building

2018 APPENDIX B

BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

ELECTRICAL DESIGN

(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: Energy Code ASHRAE 90.1 ☐ Prescriptive ☐ Performance ☐ Prescriptive ☐ Performance

Lighting schedule (each fixture type):

lamp type required in fixture: _____

number of lamps in fixture: _____

ballast type used in the fixture: _____

number of ballasts in fixture: _____

total wattage per fixture: _____

total interior wattage specified vs. allowed (whole building or space by space): _____

total exterior wattage specified vs. allowed: _____

Additional Efficiency Package Options: (When using the 2018 NCEC, not required for ASHRAE 90.1)

☐ C406.2 More Efficient Mechanical Equipment

☐ C406.3 Reduced Lighting Power Density

☐ C406.4 Enhanced Digital Lighting Control

☐ C406.5 On-Site Renewable Energy


☐ C406.6 Dedicated Outdoor Air System

☐ C406.7 Reduced Energy Use in Service Water Heating

2018 NC Administrative Code and Policies Appendix B for Building

PREPARED FOR:

verizon



Milestone Towers

MILESTONE TOWERS
12110 SUNSET HILLS ROAD #600
RESTON, VA 20190


SITE NAME:

JORDAN LUMBER

SITE ADDRESS:
COOL SPRINGS RD
CARTHAGE, NC 28327
MOORE COUNTY

STAMP:





MOUNTAIN ENGINEERING
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FIRM# P-2302

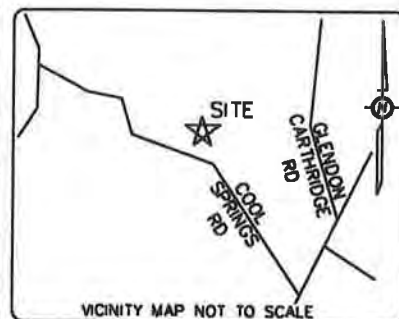
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DATE DRAWN:	01/03/22		
REVISION			
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A	ISSUED FOR REVIEW	IL	01/03/22
O	ISSUED FOR REVIEW	IL	02/15/22

SHEET TITLE:

APPENDIX B

SHEET NUMBER:

N1.4



PARENT PARCEL INFORMATION:
OWNER: JORDAN THREE LLC

PARCEL ID 00003428
PIN 867100671721
DEED BOOK 4092 PAGE 40

1-A INFORMATION

LATITUDE: 35° 26' 47.33" N
LONGITUDE: 79° 24' 55.64" W

GROUND ELEVATION AT BASE OF
PROPOSED TOWER 251.0'

ZONING: N/A

THIS PARCEL OF LAND LIES WITHIN FLOOD
ZONE X&AE WHICH IS A SPECIAL FLOOD
HAZARD AREA AS PER F.I.R.M. PANEL
NUMBER: 3710866000J
EFFECTIVE DATE: 10/17/2006

LEGEND:

- : SET 5/8" REBAR, OR AS NOTED
- : FOUND 1/2" REBAR, OR AS NOTED
- : FOUND MONUMENT, OR AS NOTED
- (---) : RECORD DESCRIPTION DATA
- P.O.T. : POINT OF TERMINUS
- P.O.B. : POINT OF BEGINNING
- P.O.C. : POINT OF COMMENCEMENT
- : FENCE AS NOTED
- OH— : OVER HEAD UTILITY LINES
- ⊙ : WOOD UTILITY POLE
- ⊞ : ELECTRIC TRANSFORMER
- ⊞ : TELCO PEDESTAL
- ⊞ : HAND HOLE
- N/A : NOT AVAILABLE
- N/F : LANDS NOW/FORMERLY
- ⊞ : FLOOD LIGHT
- ⊞ : UNDERGROUND FIBER MARKER

AREA	SQUARE FEET	ACRE
PARENT PARCEL	3,151,543	72.35
PROPOSED TOWER LEASE	4,900	0.11
PROPOSED PARKING AREA	1,000	0.02
PROPOSED ACCESS /UTILITY EASEMENT	10,312	0.24

NOTE: THE ENTIRE PARENT
PARCEL PROPERTY IS AN
ACTIVE CHRISTMAS TREE FARM

NOTE: SEE SHEET TWO FOR
TOPOGRAPHIC INFORMATION

LANDS N/F
PARKS O TRACCI III
PIN 867100361625
BK 1080 PG 532

LANDS N/F
PARKS O TRACCI III
PIN 867100361625
BK 1080 PG 532

LANDS N/F
THREE RIVERS
LAND TRUST
PIN 867200601519
BK 5189 PG 406

LANDS N/F
HYMAN ALICE ANN &
ROBERT J
PIN 867100885637
BK 175 PG 360

LANDS N/F
BTG PACTUAL OEF
PROPERTY 2 LP
PIN 867100761160
BK 5251 PG 75

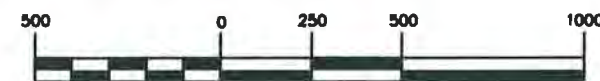
LANDS N/F
BTG PACTUAL OEF
PROPERTY 2 LP
PIN 867100761160
BK 5251 PG 75

COOL SPRINGS RD
APPARENT 50' PUBLIC
RIGHT OF WAY

PROPOSED TOWER LEASE
& PARKING AREA

PROPOSED ACCESS/
UTILITY EASEMENT

NAD 83



BAR GRAPH 1 inch = 500 ft.
JORDAN LUMBER 12-22-2021.DWG

AS-BUILT SURVEY

A PARCEL OF LAND LYING IN
THE TOWN OF CARTHAGE
OF MOORE COUNTY

FOR: MOUNTAIN LTD ENGINEERING

NAME: JORDAN LUMBER
NUMBER: N/A
ADDRESS: COOL SPRINGS RD
CARHRIDGE NC 28327
MOORE COUNTY



MOUNTAIN, LTD
ENGINEERING

NATIONAL SURVEY SERVICES COORDINATION BY:

GEOLINE
SURVEYING, INC.

13430 NW 104th Terrace, Suite A Alachua, FL 32615
Office: (386) 418-0500 Fax: (386) 462-9986
WWW.GEOLINEINC.COM

SURVEY WORK PERFORMED BY:

JONATHAN
MURPHY

Professional Land Surveying

10505 Leafwood Place (919) 280-8189
Raleigh NC 27613 FAX 995-9616
E-Mail: jonathan@murphygeomatics.com FIRM C-2757

SURVEYOR'S NOTES

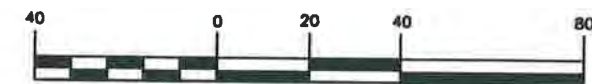
1. BASIS OF BEARING:
AZ GRID CENTRAL ZONE NAD83
2. NO SUBSURFACE INVESTIGATION WAS
PERFORMED TO LOCATE UNDERGROUND
UTILITIES. UTILITIES SHOWN HEREON ARE
LIMITED TO AND ARE PER OBSERVED
EVIDENCE ONLY.
3. THIS SURVEY DOES NOT REPRESENT A
BOUNDARY SURVEY OF THE PARENT PARCEL.
4. ALL VISIBLE TELECOM EQUIPMENT AND
IMPROVEMENTS ARE CONTAINED WITHIN THE
DESCRIBED AREA.
5. ALL SYMBOLS SHOWN HEREON NOT
DEPICTED TO SCALE.

SURVEYOR'S CERTIFICATION

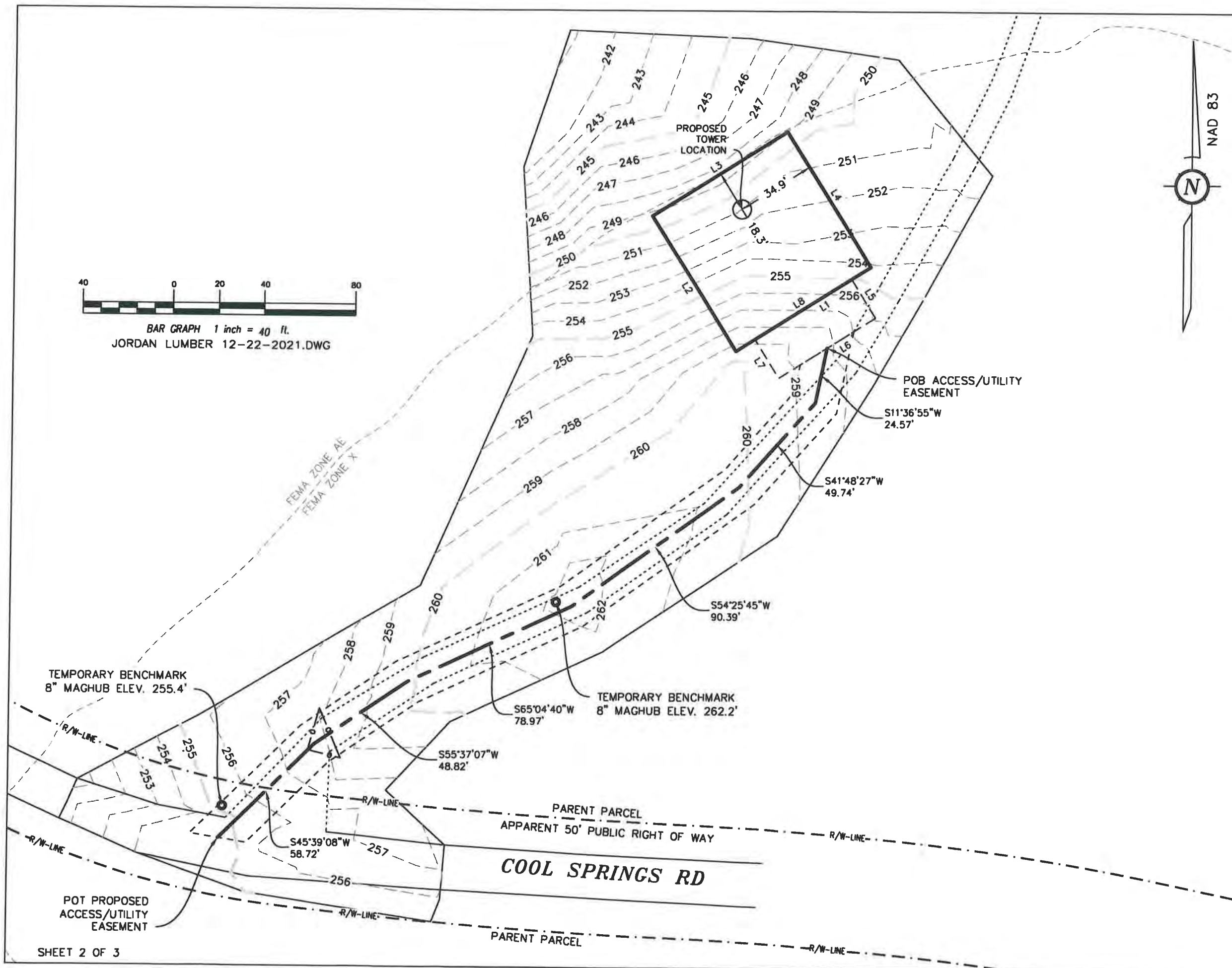
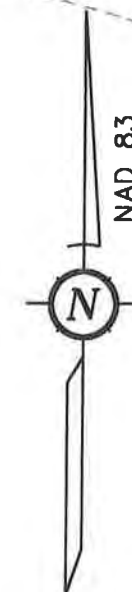
I HEREBY CERTIFY TO:

MURPHY GEOMATICS

LAND SURVEYOR -
DATE:



BAR GRAPH 1 inch = 40 ft.
JORDAN LUMBER 12-22-2021.DWG



AS-BUILT SURVEY

A PARCEL OF LAND LYING IN
THE TOWN OF CARTHAGE
OF MOORE COUNTY

FOR: MOUNTAIN LTD ENGINEERING

NAME: JORDAN LUMBER

NUMBER: N/A

ADDRESS: COOL SPRINGS RD
CARRIDGE NC 28327
MOORE COUNTY



MOUNTAIN, LTD
ENGINEERING

NATIONAL SURVEY SERVICES COORDINATION BY:

GEOLINE
SURVEYING, INC.

13430 NW 104th Terrace, Suite A Alachua, FL 32615
Office: (386) 418-0500 Fax: (386) 462-9986
WWW.GEOLINEINC.COM

SURVEY WORK PERFORMED BY:

JONATHAN
MURPHY

Professional Land Surveying
10505 Leafwood Place (919) 280-8189
Raleigh NC 27613 FAX 919-9616
E-MAIL: jonathan@murphygeomatics.com FIRM C-2757

SURVEYOR'S NOTES

1. BASIS OF BEARING:
AZ GRID CENTRAL ZONE NAD83
2. NO SUBSURFACE INVESTIGATION WAS
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DEPICTED TO SCALE.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY TO:

MURPHY GEOMATICS

LAND SURVEYOR -
DATE:

FIELD DATE: 12/21/2021

PREPARED FOR:

verizon



**Milestone
Towers**

MILESTONE TOWERS
12110 SUNSET HILLS ROAD #600
RESTON, VA 20190

SITE NAME:

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SITE ADDRESS:
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CARTHAGE, NC 28327
MOORE COUNTY

STAMP



MOUNTAIN ENGINEERING
OF NORTH CAROLINA, PLLC

FIRM# P-2302

DRAWN BY: IL

APPROVED BY: TH

DATE DRAWN: 01/03/22

REVISION

NO DESCRIPTION BY DATE

A ISSUED FOR REVIEW IL 01/03/22

O ISSUED FOR REVIEW IL 02/15/22

SHEET TITLE:

**OVERALL
SITE PLAN**

SHEET NUMBER:

A0.0

NOTE:

SITE IS HEAVILY WOODED. THE COMPOUND
WILL SCREENED BY THE EXISTING TREES.

NOTE:

THE PROPOSED TOWER IS IN EXCESS OF
2,640 FT. FROM ANY DESIGNATED
NATIONAL REGISTER OF HISTORIC PLACES.

EXISTING TOWERS:

1. 1213503 WOOLSTONE CORPORATION
TOWER IS 1.57 MILES TO THE WEST
2. 1003509 US CELLULAR CORPORATION
TOWER IS 4.85 TO THE SOUTH WEST
3. 1260999 WWGP BROADCASTING CORP
TOWER IS 5.88 MILES TO THE EAST.

TOWER SETBACK FROM PROPERTY LINE

PROPERTY LINE	DISTANCE
NORTHWEST	1019'
NORTHEAST	1353'
SOUTHEAST	828'
SOUTHWEST	2351'

TEMPORARY BENCHMARK
8" MAGHUB ELEV. 255.4'

TEMPORARY BENCHMARK
8" MAGHUB ELEV. 262.2'



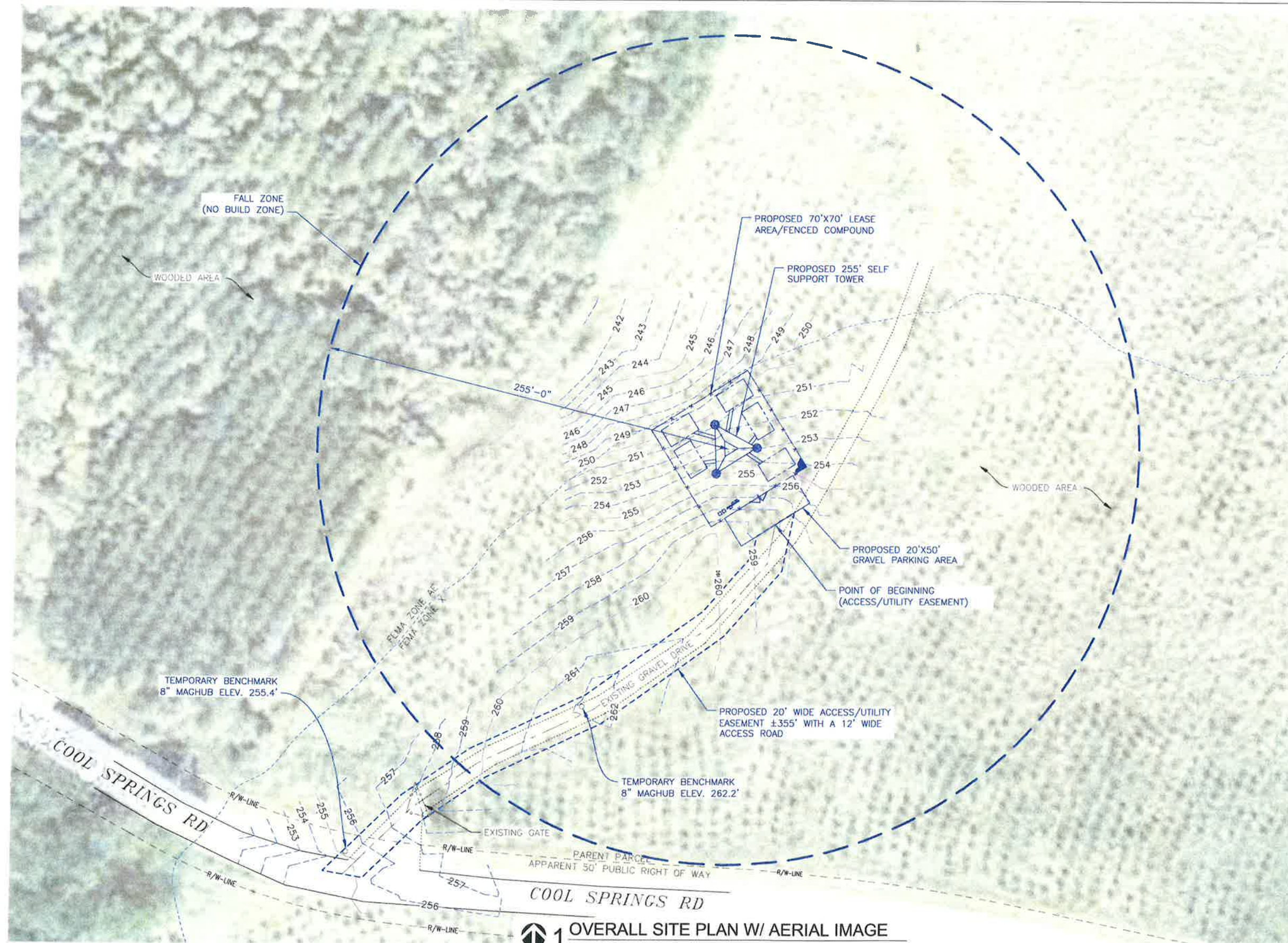
TRUE
NORTH

1 OVERALL SITE PLAN

FULL SIZE PLOT SCALE: 1" = 30'

HALF SIZE PLOT SCALE: 1" = 60'

0 15' 30' 60'



1 OVERALL SITE PLAN W/ AERIAL IMAGE

FULL SIZE PLOT SCALE: 1" = 30'
HALF SIZE PLOT SCALE: 1" = 60'

0 15' 30' 60'

PREPARED FOR:

verizon



**Milestone
Towers**

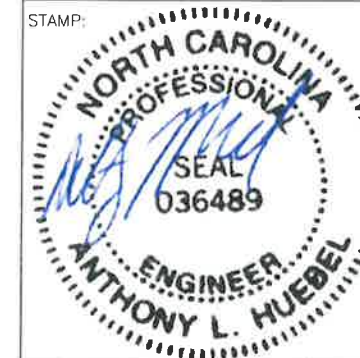
MILESTONE TOWERS
12110 SUNSET HILLS ROAD #600
RESTON, VA 20190

SITE NAME:

JORDAN LUMBER

SITE ADDRESS:
COOL SPRINGS RD
CARTHAGE, NC 28327
MOORE COUNTY

STAMP:



**MOUNTAIN ENGINEERING
OF NORTH CAROLINA, PLLC**

FIRM# P-2302

DRAWN BY: IL

APPROVED BY: TH

DATE DRAWN: 01/03/22

REVISION

NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	IL	01/03/22
O	ISSUED FOR REVIEW	IL	02/15/22

SHEET TITLE:

**OVERALL SITE PLAN
W/ AERIAL IMAGE**

SHEET NUMBER:

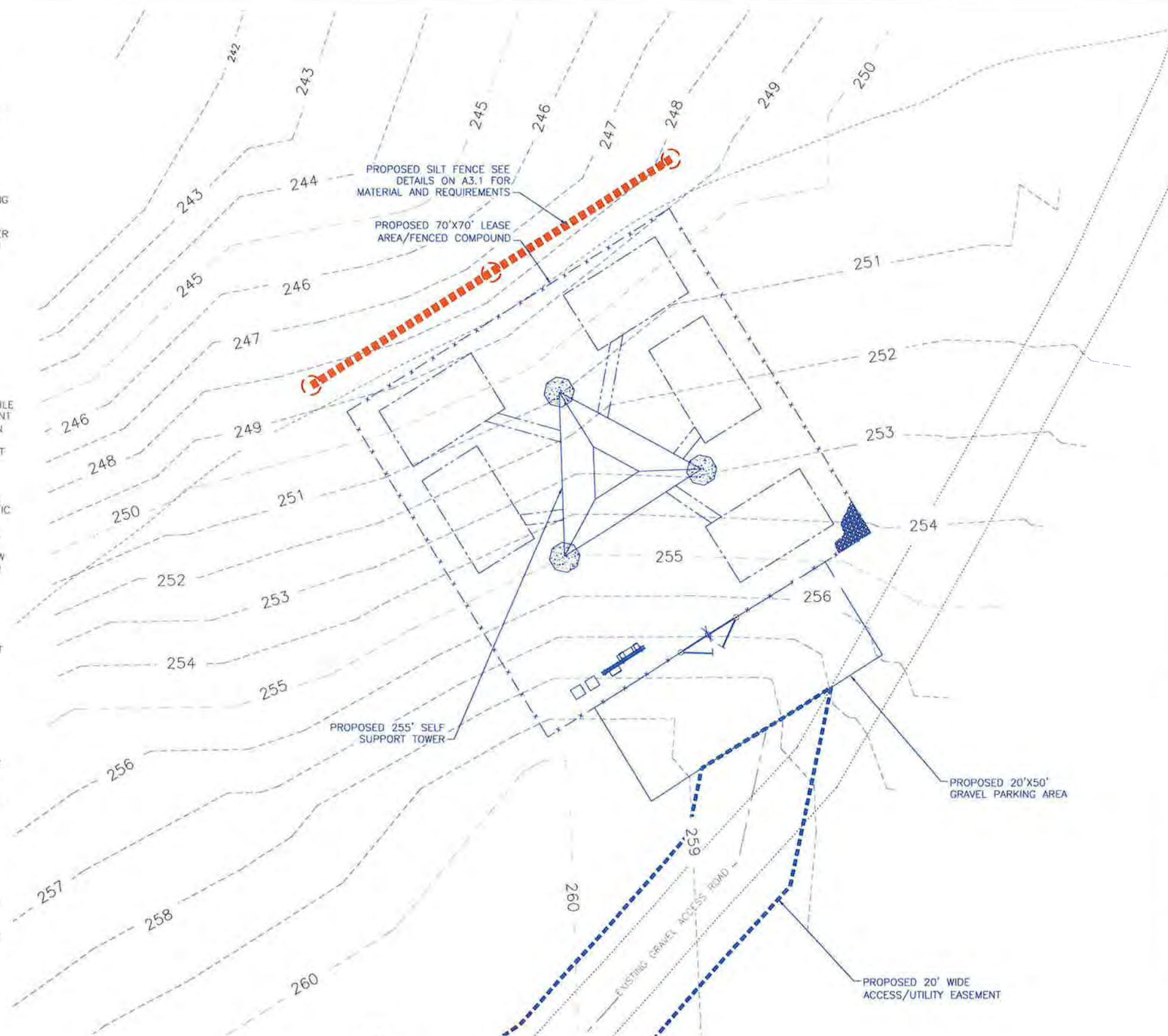
A0.1

EROSION CONTROL CONSTRUCTION SEQUENCE:

1. THE CONTRACTOR SHALL DESIGNATE AN ESC COORDINATOR FOR THE SITE AND COMMUNICATE TO THE OWNER AND ENGINEER;
2. GRUBBING AND GRADING.
3. INSTALL SILT FENCE WHERE SHOWN. SILT FENCE TO BE INSTALLED PRIOR TO TREE REMOVAL COMPOUND FENCE TO BE INSTALLED AFTER SILT FENCE IS REMOVED;
4. COMMENCE WITH TREE REMOVAL AND GRADING ACTIVITIES.
5. INSTALL EROSION CONTROL MEASURES AFTER GRADING BEGINS AS REQUIRED;
6. SEED ALL MULCH DENUDED AREA WITH 7 DAYS AFTER ANY PHASE OF GRADING, ALSO COVER ALL EXPOSED AREA BEFORE MAJOR STORM EVENTS;
7. MAINTAIN SOIL EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED;
8. REQUEST FINAL APPROVAL BY OWNER;
9. REMOVE SOIL EROSION CONTROL MEASURES AND STABILIZE THERE AREAS.

EROSION CONTROL AND DRAINAGE NOTES:

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS FOR EROSION AND SEDIMENT CONTROL FOR THE AGENCY(IES) HAVING JURISDICTION OVER CLEARING AND GRADING OPERATIONS. AS A MINIMUM, ALL WORK SHALL COMPLY WITH THE LATEST PROVISIONS OF THE INTERNATIONAL BUILDING CODE. UTILIZE BEST MANAGEMENT PRACTICES (BMP) PRESCRIBED BY IDOT TO PREVENT EROSION OF ON-SITE SOILS AND TRANSPORT OF THESE SOILS TO DOWNSTREAM PROPERTIES OR WATER BODIES. SPECIFIC BMP'S TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO, A TEMPORARY CONSTRUCTION ENTRANCE, SILT FENCE AT THE BASE OF FILL SLOPES AND AROUND STOCKPILE AREA, CHECK DAMS IN THE FLOW LINE OF SWALES AND DITCHES, AND TEMPORARY AND PERMANENT SEEDING.
2. CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS AS NECESSARY DURING CONSTRUCTION ACTIVITIES TO ENSURE THE PROTECTION OF ADJACENT PROPERTIES AND WATERWAYS. EXCEPT AS MAY BE REQUIRED TO INSTALL THE MEASURES, NO GRADING SHALL BE PERFORMED UNTIL THE TEMPORARY CONSTRUCTION ENTRANCE, SILT FENCE AND OTHER APPROPRIATE MEASURES ARE IN PLACE.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
A. SEVEN CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
B. FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4. THE CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD AND CLEARING ANY DEBRIS AND SEDIMENT CAUSED BY CONSTRUCTION.
5. ALL EROSION CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION.



1 PROPOSED GRADING & EROSION CONTROL PLAN

FULL SIZE PLOT SCALE: 1" = 10'
HALF SIZE PLOT SCALE: 1" = 20'

0 5' 10' 20'

PREPARED FOR:

verizon

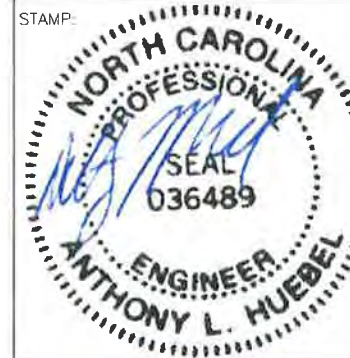
Milestone Towers
MILESTONE TOWERS
12110 SUNSET HILLS ROAD #600
RESTON, VA 20190

SITE NAME:

JORDAN LUMBER

SITE ADDRESS:
COOL SPRINGS RD
CARTHAGE, NC 28327
MOORE COUNTY

STAMP:



MOUNTAIN ENGINEERING
OF NORTH CAROLINA, PLLC
FIRM# P-2302

DRAWN BY: IL
APPROVED BY: TH
DATE DRAWN: 01/03/22

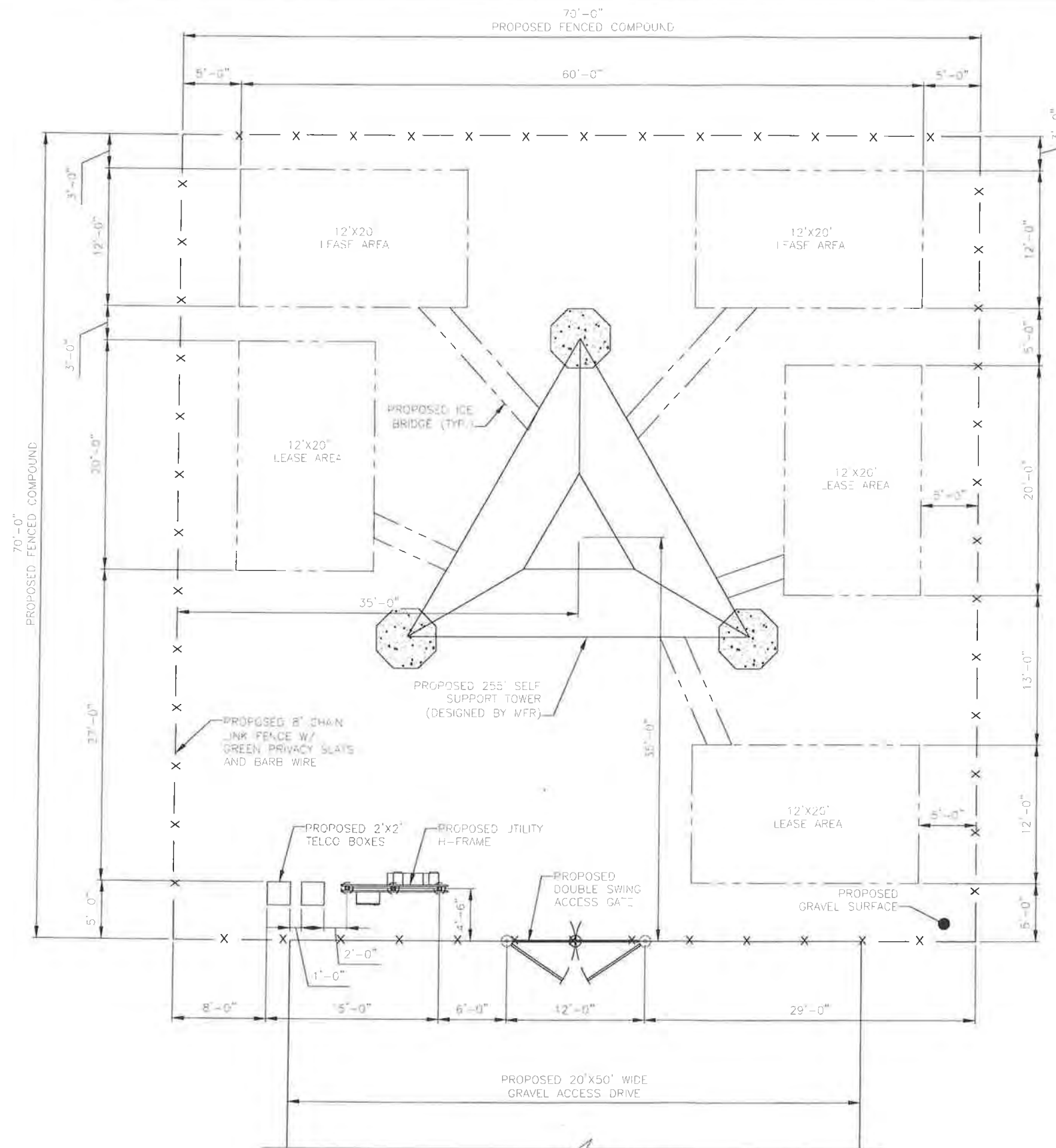
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	IL	01/03/22
O	ISSUED FOR REVIEW	IL	02/15/22

SHEET TITLE:

PROPOSED GRADING & EROSION CONTROL PLAN

SHEET NUMBER:

A0.2



1 COMPOUND PLAN

FULL SIZE PLOT SCALE: 3/16" = 1'-0"
 HALF SIZE PLOT SCALE: 3/32" = 1'-0"



PREPARED FOR:

verizon



**Milestone
Towers**

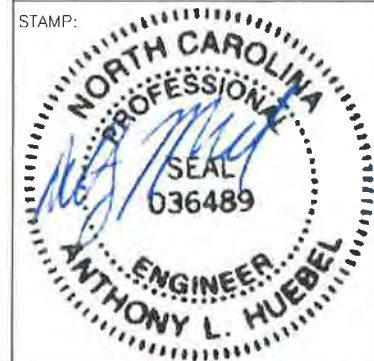
MILESTONE TOWERS
 12110 SUNSET HILLS ROAD #600
 RESTON, VA 20190

SITE NAME:

JORDAN LUMBER

SITE ADDRESS:
 COOL SPRINGS RD
 CARTHAGE, NC 28327
 MOORE COUNTY

STAMP:



MOUNTAIN ENGINEERING
 OF NORTH CAROLINA, PLLC
 FIRM# P-2302

FIGURE 2-22

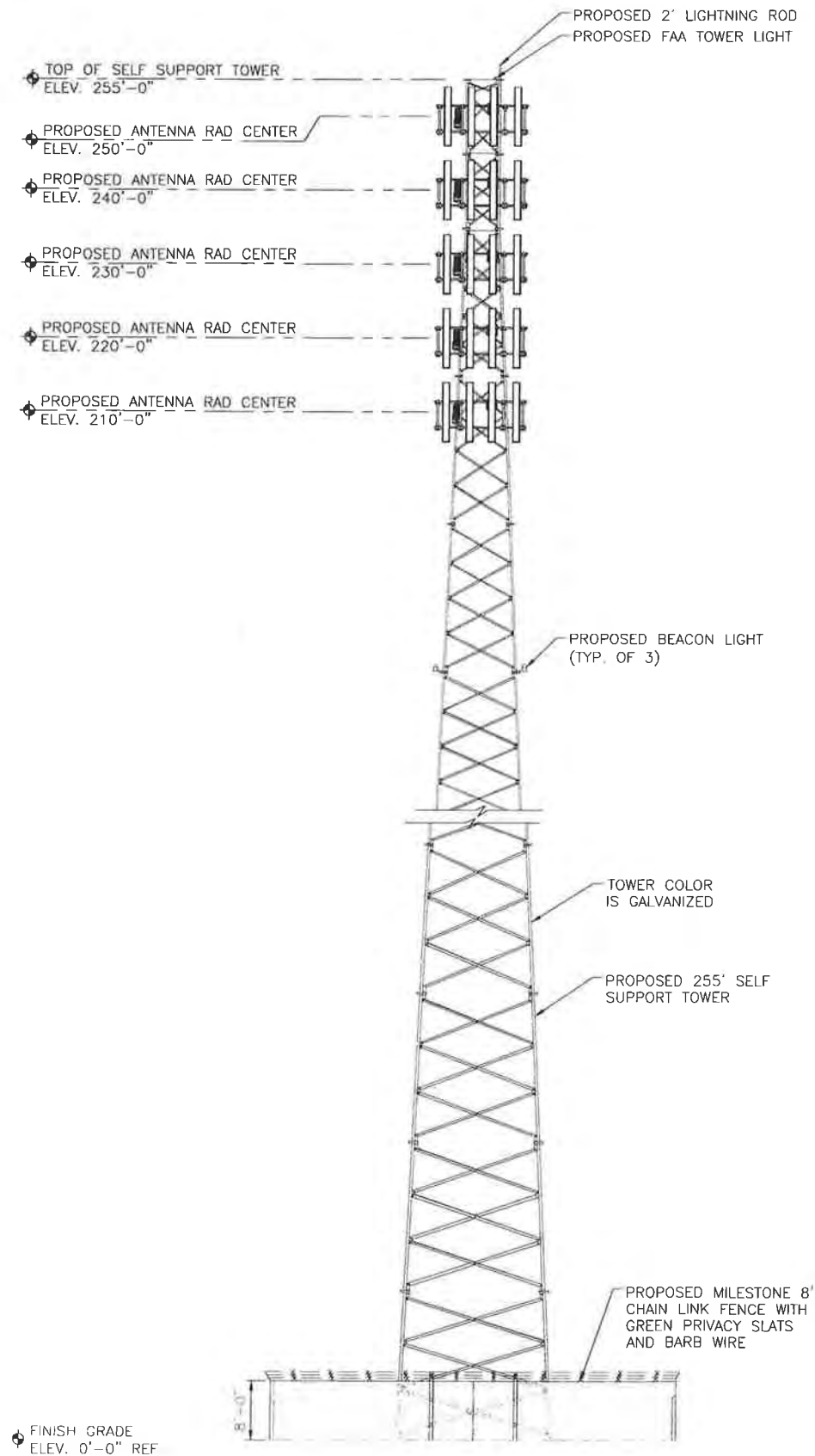
DRAWN BY:	IL		
APPROVED BY:	TH		
DATE DRAWN:	01/03/22		
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	IL	01/03/22
O	ISSUED FOR REVIEW	IL	02/15/22

SHEET TITLE:

COMPOUND PLAN

SHEET NUMBER:

A1.0



1 TOWER ELEVATION
 SCALE: N.T.S.

PREPARED FOR:



MILESTONE TOWERS
 12110 SUNSET HILLS ROAD #600
 RESTON, VA 20190

SITE NAME

JORDAN LUMBER

SITE ADDRESS:
 COOL SPRINGS RD
 CARTHAGE, NC 28327
 MOORE COUNTY

STAMP:



DRAWN BY:		IL	
APPROVED BY:		TH	
DATE DRAWN		01/03/22	
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	IL	01/03/22
O	ISSUED FOR REVIEW	IL	02/15/22

SHEET TITLE:

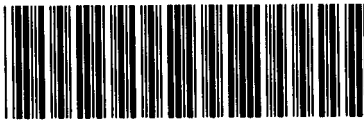
TOWER ELEVATION

SHEET NUMBER:

A2.0

FOR REGISTRATION REGISTER OF DEEDS
Judy D. Martin
Moore County, NC
October 01, 2012 10:58:50 AM
Book 4092 Page 40-46
FEE: \$26.00
INSTRUMENT # 2012014314

HM



INSTRUMENT # 2012014314

Excise Tax \$0 Recording Time, Book and Page

Tax Lot No.....Parcel Identifier No 00003428, 00001312, 00990221
Verified by County on the day of
by

Mail after recording to ...Russell J. Hollers, Attorney at Law, PO Box 567, Troy, NC 27371
This instrument was prepared by ...Russell J. Hollers, Attorney at Law, P.O. Box 567, Troy, NC 27371

Brief description for the Index: Tracts 9096, 9129, 9133 - MOORE COUNTY

NORTH CAROLINA GENERAL WARRANTY DEED

THIS DEED made this 31st day of August, 2012, by and between

GRANTOR

Jordan Four, LLC
a North Carolina limited
liability company

PO Box 98
Mt. Gilead, NC 27306

GRANTEE

Jordan Three, LLC
a North Carolina limited
liability company

PO Box 98
Mt. Gilead, NC 27306

Enter in appropriate block for each: name, address, and, if appropriate, character of entity, e.q. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the Town of ____, Various Townships, Moore County, North Carolina and more particularly described as follows:

See Exhibit “A” attached hereto and made a part hereof for a more complete description of the tracts being conveyed.

Does the above described property include the primary residence? NO

The property hereinabove described was acquired by Grantor by instrument recorded in **Book Page**.

A map showing the above described property is recorded in Plat Cabinet Slide

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances hereto belonging to the Grantee in fee simple; and

The Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever except for the exceptions hereinafter stated. Title to the property hereinabove described is subject to the following exceptions:

Easements and restrictions of record.

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal, or if corporate, has caused this instrument to be signed in its corporate name by its duly authorized officer, the day and year first above written.

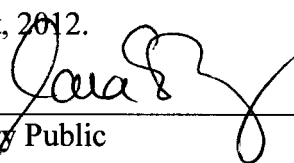
Jordan Lumber & Supply, Inc., Manager of
Jordan Properties, LLC, which is Manager of
Jordan Four, LLC

By: 
Robert B. Jordan, III, President

STATE OF NORTH CAROLINA
COUNTY OF MONTGOMERY

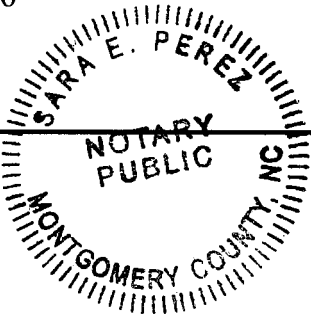
I, Sara E. Perez, a Notary Public of the County of Montgomery, State of North Carolina, certify that **Robert B. Jordan, III** personally came before me this day and acknowledged that he is **President of Jordan Lumber & Supply, Inc., which is Manager of Jordan Properties, LLC, which is Manager of Jordan Four, LLC** a North Carolina limited liability company, and that he, as **President**, being authorized to do so, executed the foregoing on instrument on behalf of the limited liability company.

Witness my hand and notarial seal, this 31st day of August, 2012.


Notary Public (SEAL)

My commission expires: 4/26/2016

(SEAL)



Tract 9096
Moore County

TRACT 9096

MOORE COUNTY

DEEP RIVER TOWNSHIP

CLEGG TRACT

Lying and being in Deep River Township, Moore County, North Carolina, about 8 miles north of the Town of Carthage BEGINNING at the mouth of Widows Branch (also known as Meadow Branch) where said branch empties into McLendons Creek; runs thence up the run of Widows Branch S. 1.97 chains, S. 64-15 E. 7.22 chains, S. 8-45 E. 5.32 chains, S. 79-15 E. 2.95 chains, S. 22-30 E. 1.96 chains, S. 61-30 E. 3.55 chains, S. 31-45 E. 5.09 chains, S. 22-15 E. 3.76 chains, and S. 57 E. 4.3 chains to the Warren line; thence along Warren's line S. 64-45 W., crossing a power line, 61.45 chains to O. T. Parks' corner; thence along Parks' line N. 9-15 W. 19.95 chains to a stake and N. 49-15 E. 48.10 chains to the point or place of BEGINNING, containing 130.0 acres according to plat by C. W. Russum, R.L.S., dated November 1950 entitled "Continental Can Company, Inc. - Colin G. Spencer, Sr. Clegg Tract, I" and recorded in Plat Book 6, Page 28, Moore County Registry.

EXCEPTIONS:

Clegg Tract 130 acres

1. Subject to right-of-way easement from H. W. Clegg and wife to Carolina Power & Light Company, dated July 6, 1922, and recorded in Book 86, Page 419.
2. Subject to right-of-way easement from Colin G. Spencer and wife, Lena F. Spencer to Carolina Power & Light Company, dated February 25, 1940 and recorded in Book 150, Page 107.
3. Subject to right-of-way easement from Colin G. Spencer and wife, Lena F. Spencer, to Carolina Power & Light Company, dated March 1, 1949, and recorded in Book 158, Page 435.
4. Subject to 60 foot right-of-way to state road as shown on plat recorded in Plat Book 6, Page 28.

Tract 9129
Moore County

TRACT NO. 9129 -Page 1
MOORE COUNTY, CARTHAGE TOWNSHIP
Exhibit A

Tract 1 --

All that certain lot, tract or parcel of land in Carthage Township, Moore County, North Carolina, situated about four miles northwest from the Town of Carthage, and adjoining lands owned or formerly owned by Mrs. Jane Sears Dowd, Jessie L. Sullivan, L. G. Cockman, John Densley, and others, and State Highway No. 27 from Raleigh to Charlotte and being particularly described as follows:

Beginning at a stake in an old Road on the north side of Highway #27, running thence N. 80 W. 960 feet to a stake north of the highway; thence N. 75 W. crossing the highway 1980 feet to a stake and rocks on the south side of the highway; thence N. 20 E. 66.6 feet to the center of the highway; thence S. 46 W. 1850 feet to a stake in a branch, gum pointers; thence down the various courses of the branch N. 40 W. 1150 feet to a stake in the branch; thence S. 26 1/2 W. 1180 feet to a stake in a drain; thence N. 28 W. 853 feet to a stake; thence S. 24-15 W. 1350 feet to a stake; thence S. 39 W. 264 feet to a stake; thence S. 32 W. 1537 feet to a stone; thence N. 20 W. 1518 feet to a stake; thence S. 50 W. 561 feet to a stone; thence S. 45 E. 1452 feet to a stone; thence S. 45 W. 231 feet to a stone; thence S. 10 E. 1221 feet to a stone; thence N. 84 E. 231 feet to a stone in a branch, pine pointers; thence S. 20 E. 891 feet to a stake, maple and dogwood pointers; thence S. 30 E. 726 feet to a stake on the bank of McLendon's Creek, iron wood, sweet gum and white oak pointers; thence down the various courses of the creek S. 72 E. 200 S. 56 E. 300 S. 70 E. 235 feet S. 15 W. 283 feet S. 61 E. 260 feet to the mouth of a ditch, running in to the creek from the south; thence leaving the creek S. 13 W. 660 feet to a stake; thence S. 11-30 W. 1670 feet to a stone; thence N. 71 E. 469 feet to a stake; thence S. 80 E. 459 feet; thence N. 75-15 E. 1500 feet to a stone; thence S. 13-30 E. 2597 feet to a stone; thence N. 76 E. 2300 feet to Lick Branch; thence down the various courses of said branch N. 75 E. 264 feet to an iron stake, gum pointers, a corner of Goodwin's Sears Land N. 36 E. 205 feet to a stone N. 35 E. 427 feet to a rock on the bank of Lick Branch in the old Salisbury Road, a corner of Lamm's land; thence as to branch N. 20 E. 630 feet N. 3 W. 362 N. 72 W. 156 N. 21 W. 122 N. 47 W. 167 feet N. 1 E. 700 feet N. 16 1/2 E. 1150 feet to Spencer's corner of the Cagle farm N. 41 W. 250 feet N. 15 E. 330 feet N. 330 feet to Spencer's other corner; thence leaving the branch N. 76 1/2 W. 600 feet to a stone; thence N. 11 W. 1837 feet to the bank of McLendon's Creek; thence down the various courses of the creek E. 132 feet N. 30 E. 255 feet N. 28 W. 150 feet N. 4 W. 452 feet S. 87

TRACT 9129- Page 2

E. 373 feet N. 33 E. 155 feet N. 76 E. 250 feet to Beasley's corner; thence leaving the creek N. 16 W. 231 feet N. 61 W. 115.5 feet N. 8 W. 231 feet N. 20 E. 311.5 feet to a rock; thence N. 68 E. 683 feet to a stake; thence N. 60 W. 518 feet to a stake, maple pointers; thence N. 16 W. 1132 feet to the beginning, containing 1169 3/4 acres, more or less.

Saving and excepting from Tract 1 the following described proportion, to wit:

Exception 1 -- All that certain tract or parcel of land lying and being situate in Carthage Township, Moore County, North Carolina, more particularly described as follows: Beginning at a point on the North side of Highway No. 27 at the Southwest corner of the Boyette property; running thence along the Boyette line N. 14° W. approximately 203 feet to the Person property; thence along the Person line N. 80° W. approximately 957 feet; thence N. 75° W. approximately 1118 feet to the North side of said Highway 27; thence along the North side of said Highway 27 S. 53° E. 800 feet; thence S. 70° 30' E. 1466 feet to the point of beginning; the same containing 8.2 acres, more or less, and being that portion of the Binneywood Tract of land lying and being on the North side of said Highway No. 27; and being a part of the identical real property conveyed unto the said party of the first part by deed of Ocia J. Cagle, et al, dated March 18, 1946, recorded in Book 149 at page 40, Moore Public Registry; reference to said deed being hereby made for greater certainty of description.

Exception 2 -- All that certain tract or parcel of land lying and being situate in Carthage Township, Moore County, North Carolina, more particularly described as follows: Beginning at a point in the H. Arnold Jackson property line which said point is N. 14° W. 746 feet from an iron stake on the South side of North Carolina Highway No. 27, said stake at said highway being a common corner for the Hennywood tract of land owned by Halifax Paper Company, Inc, and the property of H. Arnold Jackson; running thence along a now made line S. 25° E. 587.8 feet to an iron stake in said Jackson line; thence along said Jackson line N. 60° E. 515.8 feet; N. 73° E. 208.2 to an iron stake; thence continuing along said Jackson line N. 58° W. 276 feet; N. 53° W. 237 feet to the point of beginning; said tract containing 3.3 acres, more or less and being approximately triangular in shape and being a portion of the Hennywood Tract of land conveyed unto Halifax Paper Company, Inc. by deed of Ocia J. Cagle, et al, dated March 18, 1946, recorded in Book 149 at page 40, Moore Public Registry.

TRACT 9129- Page 3

EXCEPTION 3:

All that certain tract or parcel of land lying and being situate in Carthage Township, Moore County, State of North Carolina, known as the Person tract, and being more particularly described as follows:

Beginning at a point on the South side of Highway No. 27 at or near the Northwest corner of the Bennywood tract of land owned by Halifax Paper Company, Incorporated; running thence along the line of the Bennywood tract S. 20° E. 100 feet; thence S. 75° E. approximately 600 feet to said Highway No. 27; thence along said Highway No. 27 in a Westerly direction approximately 675 feet to the point of beginning; the same containing 1.3 acres, more or less, and being that portion of the Person land lying on the South side of said Highway No. 27 and which lies immediately to the North of the Northwest corner of the Bennywood tract.

THERE IS ALSO EXCEPTED all lands lying on the East side of the creek which runs through this tract and divides Tracts 9129 and 9130. Tract 9129 consists of the lands lying on the West side of the creek.

Tract 9133
Moore County

PARCEL 19133

JORDAN LUMBER & SUPPLY, INC.

Lying and being in Carthage Township, Moore County, North Carolina, on the waters of Killett's Creek, and adjoining the lands of D. C. Wallace, the Frank Hurley lands (formerly the W. M. Kivett Place), Alex Marley and perhaps others, and bounded and described as follows:

Beginning at the confluence of the Cabo Branch with Killett's Creek and running northwesterly with the meanderings of Killett's Creek to a point where the Line Branch between D. C. Wallace and this tract of land runs unto Killett's Creek; thence up said Line Branch in an easterly direction to a mulberry tree, same being the corner of the Kivett (now Hurley) Land; thence South 12 West 42 chains to a rock and gum pointers on the bank of the Court House Branch; thence as the Court House Branch in a westerly direction to a point in said branch, the same being a corner of a tract of one acre and known as the George W. McNeill tract of land; thence South 26 E. 225 feet to a stake; thence S. 75 W. 518.5 feet to a point in Killett's Creek; thence northwesterly with said Killett's Creek to the beginning corner. Containing 101 acres, more or less. This tract of land embracing all of what is known as the Daniel Fry Mill Tract of One Hundred Acres, and one acre of George W. McNeill land. This being the same lands described and conveyed in a certain deed from John A. Lang, Jr. and wife, Catherine Gibson Lang, and Ruth Lang Gardner and husband, Howard Gardner to John A. Lang, Sr. and wife, Pauline F. Lang, dated the 16th day of August, 1952 and recorded in the Office of the Register of Deeds for Moore County, North Carolina, in Book of Deeds No. 177, at Page 183 to which reference is hereby made for a further description.

Being the same tract of land conveyed in a deed dated October 29, 1952 from John A. Lang, Sr. and wife, Pauline F. Lang to U. S. Deahl, Jr. and wife, Elizabeth S. Deahl, recorded in Book 177, Page 530, Moore County to which reference is hereby made.

For title reference see Deed Book 891, Page 437, Moore County Registry.

EXCEPTION:

- (1) Sixty feet right of way easement in favor of State Highway Commission recorded in 1986 in Book 293, Page 276, Moore County Registry.

MEMORANDUM TO THE PLANNING BOARD

FROM: Debra Ensminger
Planning and Inspections Director

DATE: March 4, 2022

SUBJECT: Conditional Rezoning Request: Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ) – Farm Life School Road

PRESENTER: Jaimie Walters

REQUEST

Cellco Partnership d/b/a Verizon Wireless is requesting a Conditional Rezoning from Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ) to construct a 195' monopole tower for a Wireless Communication Facility on an approximately 0.23-acre portion of one parcel of approximately 30.90 acres located on Farm Life School Road, owned by Adult & Teen Challenge of Sandhills, per Deed Book 5101 Page 332 and further described as ParID 00006478 in Moore County Tax Records.

Public notification consisted of publishing a legal notice in the local newspaper for two consecutive weeks, notification by mail to adjacent property owners, and placing public hearing signs on the property.

BACKGROUND

Located on the parent property is Adult and Teen Challenge of Sandhills, a group care facility. Adjacent properties include residential uses and undeveloped properties.

While the parcel does have some freshwater forested/shrub and freshwater pond wetlands, none are located within the rezoning area. The parcel is also within the AE – 1% (100-year) Flood Zone, however the rezoning area is located approximately 370' +/- from the closest boundary. The parcel is located within the Little River (CPF) WS-IIIP Watershed. The submitted application meets all of the UDO requirements in Section 8.101 (Wireless Communications Facility).

COMMUNITY MEETING

The community meeting was conducted at the Moore County Sports Complex Multi-Purpose Room on March 14, 2022, between 1:00pm and 2:00pm. Adjacent properties were notified by certified return receipt mail, sent on March 3, 2022. Please refer to attached report for more details.

CONDITIONAL ZONING (CZ)

Conditional rezoning affords a degree of certainty in land use decisions not possible when rezoning to a general district. Conditional Zoning Districts are established to provide for

flexibility in the development of property while ensuring that the development is compatible with neighboring uses. Pursuant to NCGS 160D-703, conditional zoning districts requires the approval of a rezoning by the Moore County Board of Commissioners and approval of a site-specific development plan allowing for the development of specific land uses.

Parallel conditional zoning districts are restricted to those uses (meaning either one or multiple uses) listed in the corresponding general use zoning district.

The request shall be in compliance with all relevant portions of the UDO, except that variations from these standards may be approved by the Board of Commissioners if the site plan is submitted and determined to be suitable for the request, is consistent with the intent of the standards, and ensures compatibility with land uses on surrounding properties.

Specific additional conditions applicable to the rezoning request may be proposed by the applicant, the Planning Board, or Board of Commissioners. Only those conditions mutually approved by the county and the applicant may be incorporated into the permit requirements. If a proposed condition is unacceptable to the owner, the petition can be withdrawn, and the proposed rezoning cannot go forward. Likewise, if a condition is unacceptable to the Board of Commissioners, the petition can be denied and there is no rezoning.

Per NCGS 160D-703(b), conditions and site-specific standards shall be limited to those that address the conformance of development and use of the site to County ordinances and officially adopted plans and those that address the impacts reasonably expected to be generated by the development or use of the site.

ZONING DISTRICT COMPATIBILITY

The requested rezoning to Rural Agricultural Conditional Zoning (RA-CZ) is consistent with the existing uses located near the property, including residential uses, as the underlying zoning district will remain Rural Agricultural (RA). The surrounding area is zoned Rural Agricultural (RA).

CONSISTENCY WITH THE 2013 MOORE COUNTY LAND USE PLAN

The future land use map identifies the property as Rural Agricultural Classification. The requested zoning to Rural Agricultural Conditional Zoning (RA-CZ) is compatible with the Rural Agricultural Land Use Classification as the underlying district will remain Rural Agricultural (RA) and the request is limited to the wireless communication facility use. Wireless Communication Facility service is in demand in a largely rural area.

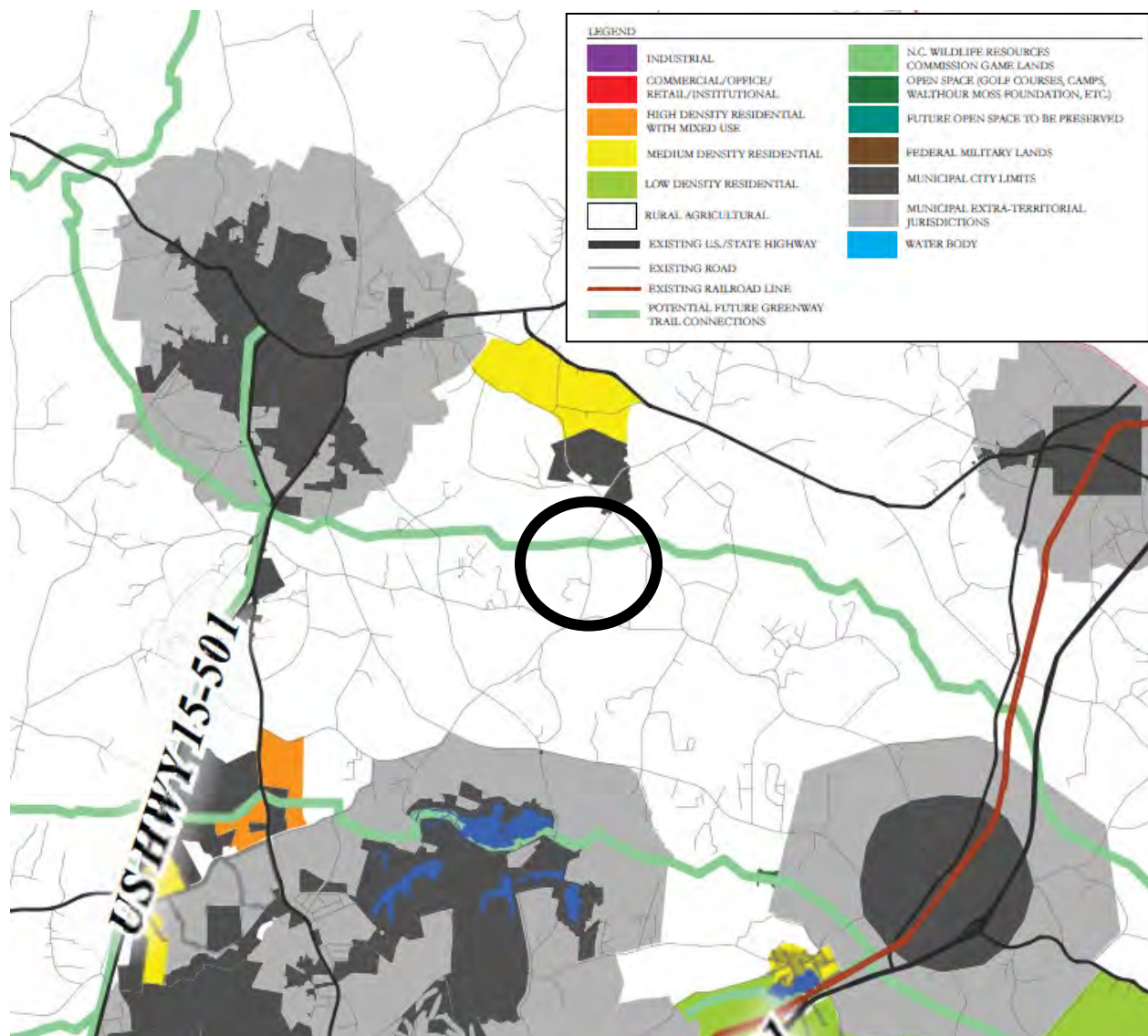
The Land Use Plan states the primary use of the Rural Agricultural Land Use Classification is to support rural residential life associated with agricultural uses (e.g., row crops, forestry, horticulture, grazing, poultry, dairy, swine operations, and intensive agricultural uses in certain areas) and other rural activities.

The Moore County Unified Development Ordinance states the Rural Agricultural (RA) district is intended to encourage the continuance of agricultural uses as well as to ensure that residential development of appropriate intensities that are consistent with the suitability of land, availability of public services, and that are compatible with surrounding development, will occur at appropriate densities to provide a healthful environment. The RA District is also intended to

accommodate rural commercial activities where the use of site-specific development plans, individualized development conditions, vegetative buffers, larger lots, and the compatibility of adjacent land uses are considered to provide suitable locations for rural commerce and other rural activities.

The rezoning request aligns with the following recommendation as included in the attached Land Use Plan Consistency Statement, including Action 1.5.2: Support new developments that utilize existing or implement planned infrastructure that most economically preserves open space and important historical, natural and cultural features.

MOORE COUNTY FUTURE LAND USE MAP



RECOMMENDATION

Staff recommends the Moore County Planning Board make two separate motions:

Motion #1: Make a motion to adopt the attached **Approval** or **Denial** Moore County Planning Board Land Use Plan Consistency Statement and authorize its Chairman to execute the document as required by North Carolina General Statute 160D-604.

Motion #2: Make a motion to recommend **Approval** or **Denial** to the Moore County Board of Commissioners of the Conditional Rezoning from Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ) to construct a 195' monopole tower for a Wireless Communication Facility on an approximately 0.23-acre portion of one parcel of approximately 30.90 acres located on Farm Life School Road, owned by Adult & Teen Challenge of Sandhills, per Deed Book 5101 Page 332 and further described as ParID 00006478 in Moore County Tax Records.

ATTACHMENTS

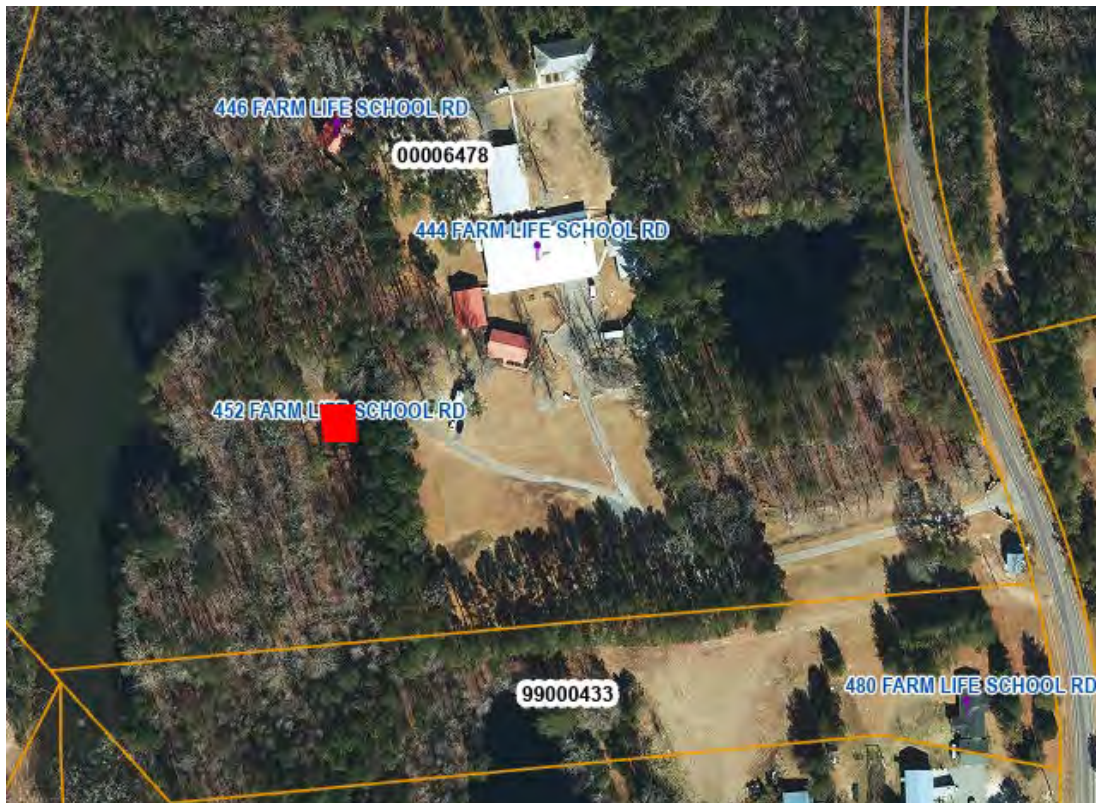
- Pictures of Property and Adjacent Properties
- Vicinity Map
- Land Use Map
- Zoning Map
- Municipal Zoning Map
- Planning Board Consistency Statement – Approval
- Planning Board Consistency Statement – Denial
- Submitted Conditional Rezoning Application
- Submitted Wireless Communications Facilities Application
- Submitted Site Specific Development Plan
- Community Meeting Report
- Deed Book 5101 Page 33

View of subject property





Approximate location of proposed tower on subject property



Adjacent property – 480 Farm Life School Road



Adjacent property – 417 Farm Life School Road

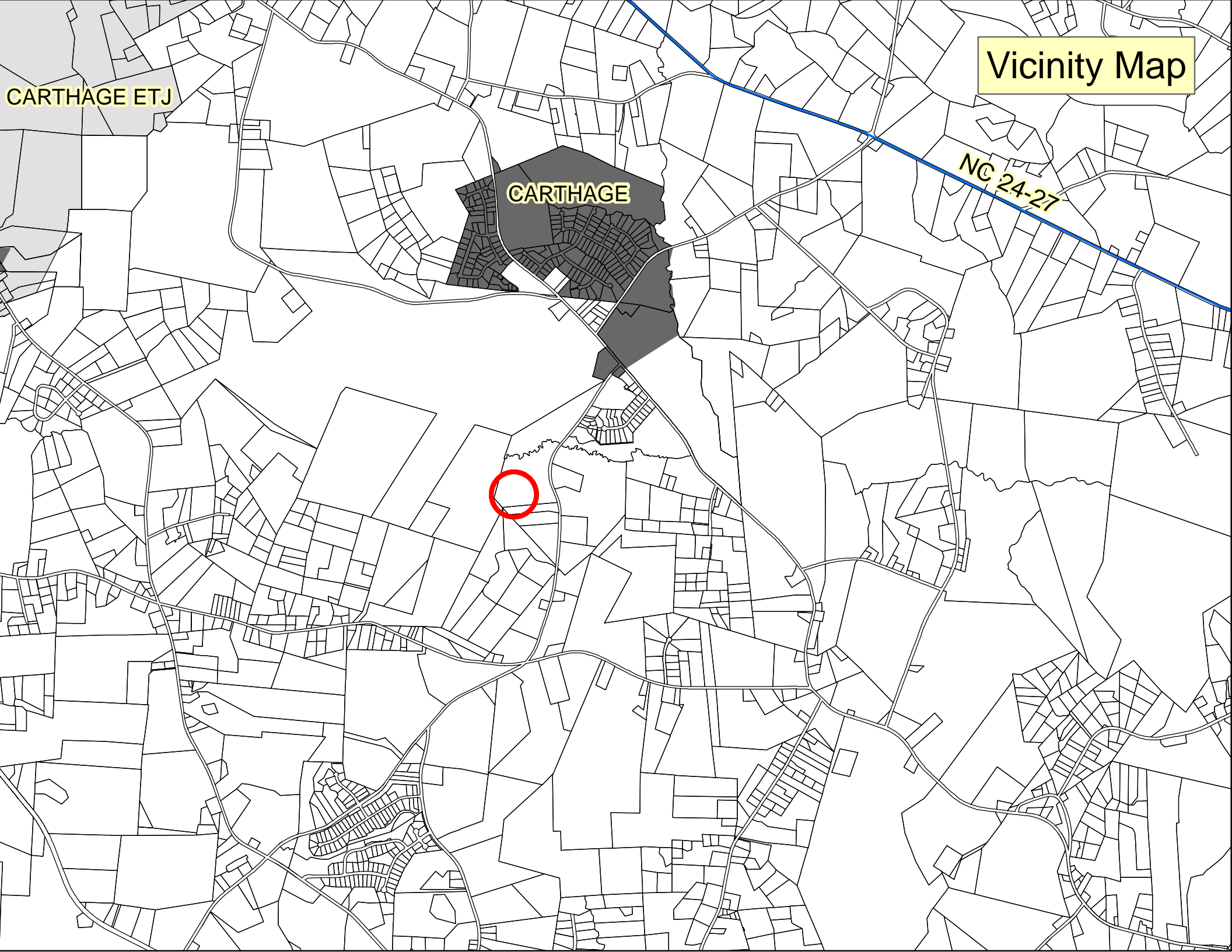


Adjacent property – Undeveloped



Adjacent property - Undeveloped





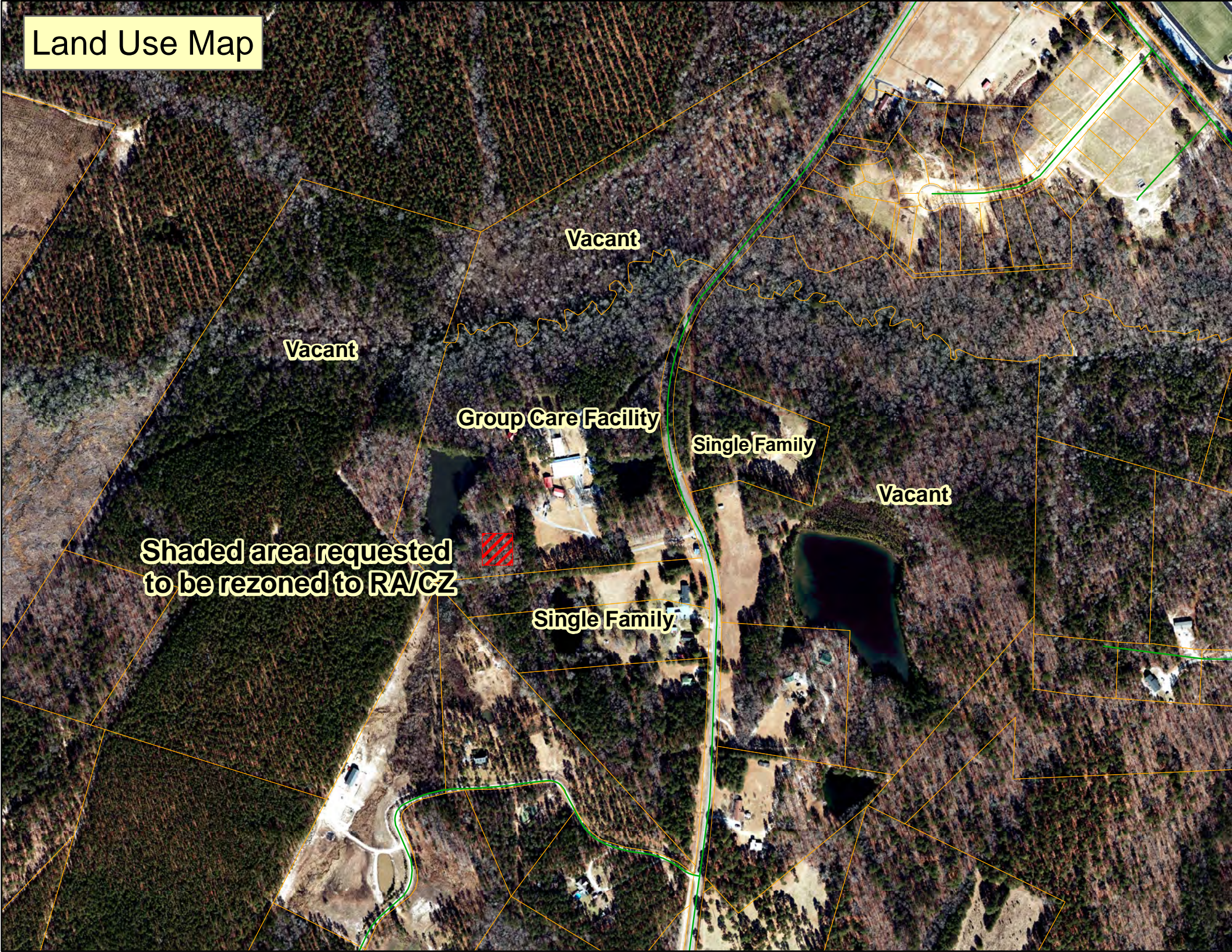
Vicinity Map

CARTHAGE ETJ

CARTHAGE

NC 24-27

Land Use Map



Zoning Map

CARTHAGE

RA

Shaded area requested
to be rezoned to RA/CZ



B-1

RA-40

Municipal Zoning

RM-40

Shaded area requested
to be rezoned to RA/CZ



Moore County Planning Board
Land Use Plan Consistency Statement
Conditional Rezoning Request
Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ)

The Moore County Planning Board finds that:

1. The rezoning request is consistent with the following goal as listed in the 2013 Moore County Land Use Plan:

Goal 1: Preserve and Protect the Ambiance and Heritage of the County of Moore (inclusive of areas around the municipalities)

- Action 1.5.2: Support new developments that utilize existing or implement planned infrastructure that most economically preserves open space and important historical, natural and cultural features.

2. The rezoning request is reasonable and in the public interest considering the property is located adjacent to existing roads and the underlying zoning district will remain in harmony with surrounding zoning.

3. Contributing factors in the rezoning approval are in response to managing the demand of wireless communication service in a largely rural area. This request will also limit the rezoning to maximum area necessary to achieve the development.

Therefore, the Moore County Planning Board recommends **APPROVAL** of the Conditional Rezoning from Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ) to construct a 195' monopole tower for a Wireless Communication Facility on an approximately 0.23-acre portion of one parcel of approximately 30.90 acres located on Farm Life School Road, owned by Adult & Teen Challenge of Sandhills, per Deed Book 5101 Page 332 and further described as ParID 00006478 in Moore County Tax Records.

Joe Garrison, Chair
Moore County Planning Board

Date

Moore County Planning Board
Land Use Plan Consistency Statement
Conditional Rezoning Request
Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ)

The Moore County Planning Board finds that:

1. The rezoning request is consistent with the following goal as listed in the 2013 Moore County Land Use Plan:

Goal 1: Preserve and Protect the Ambiance and Heritage of the County of Moore (inclusive of areas around the municipalities)

- Action 1.5.2: Support new developments that utilize existing or implement planned infrastructure that most economically preserves open space and important historical, natural and cultural features.

2. The proposed rezoning is not reasonable and not in the public interest because the proposed rezoning will have an unreasonable impact on the surrounding community.

Therefore, the Moore County Planning Board recommends **DENIAL** of the Conditional Rezoning from Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ) to construct a 195' monopole tower for a Wireless Communication Facility on an approximately 0.23-acre portion of one parcel of approximately 30.90 acres located on Farm Life School Road, owned by Adult & Teen Challenge of Sandhills, per Deed Book 5101 Page 332 and further described as ParID 00006478 in Moore County Tax Records.

Joe Garrison, Chair
Moore County Planning Board

Date



County of Moore Planning and Inspections

Inspections/Permitting: (910) 947-2221

Planning: (910) 947-5010

Fax: (910) 947-1303

Conditional Rezoning Application

Application Date: 2/18/2022

Address of Property: 444 Farm Life School Road, Carthage NC

Applicant: Celco Partnership d/b/a Verizon Wireless

Phone: 704-577-8785

Applicant Address: 7821 Research Drive

City: Charlotte

St: NC

Zip: 28262

Owner: Adult & Teen Challenge of Sandhills

Phone:

Owner Address: PO Box 1701

City: Southern Pines

St: NC

Zip: 28388

Current Zoning District: RA

Proposed Zoning District: RA

Current Use(s): Christian faith-based, residential care to young people and adults who struggle with addiction

Proposed Use(s): Wireless Facility

Proposed rules, regulations, condition(s) for the proposed district that address the impacts expected to be generated by the development or use of the site:

Moore County, NC Ordinance Section 8.101 governing Wireless Communication Facilities

Moore County, NC Ordinance Section 11.2 Conditional Rezoning

Moore County, NC Ordinance Section 4 Zoning Permits

Statement of reasonableness of the proposed conditional zoning. The statement shall include, but not be limited to the following:

1. The conditional rezoning compatibility with the County Land Use Plan and other adopted plans of the County.
2. The conditional rezoning compatibility with the existing land uses on abutting and neighboring tracts.
3. The benefits and detriments of the conditional rezoning for the subject property, neighboring properties and the surrounding community.

Applicant proposes to install a wireless telecommunications facility to consist of a 195 foot Antenna support structure within a 100'x100' leased area, compound measurement surrounded by a 50'x50' concealment fence, eight foot in height. Said fence to be topped with three strands of twelve-gauge barbed wire. Compound will be secured with locked gate. Said facility will be designed to accommodate the applicant's antennas and accessory equipment, and space for four future tenants as required by Moore County Ordinance.

I (We), the undersigned, certify that all statements furnished in this application are true to the best of my (our) knowledge, and do hereby agree to follow all reasonable requests or information as designated by the County of Moore Zoning Administrator.

Victoria M. Farmer

Digitally signed by Victoria M. Farmer
Date: 2022.02.18 12:47:14 -05'00'

Applicant/Owner Signature

Date

Applicant/Owner Signature

Date

Office Use Only:

PAR ID: _____

Chimie L. Walters

2/21/22

App# 38714

Received By

Date



County of Moore Planning and Inspections

Inspections/Permitting: (910) 947-2221
Planning: (910) 947-5010
Fax: (910) 947-1303

WIRELESS COMMUNICATION FACILITIES (WCF) FREESTANDING NON-CONCEALED

Applicant Information

Applicant Name: Cellco Partnership d/b/a Verizon Wireless Contact Name: Victoria M. Farmer
Address: 7821 Research Dr. City: Charlotte State: NC Zip: 28262
Office Phone: 704-577-8785
Contact Phone: (V. Farmer) 423-802-7847 email: Victoria.Farmer@faulkandfoster.com
Applicant Classification: ☒ Commercial Wireless Provider ☐ Governmental User ☐ Private Business User
Is this a joint application by two or more wireless service providers? ☐ YES ☒ NO
If this is a joint application, please attach contact information for each additional applicant.

Parcel Information

ParlD #: 859600471781 Zoning District: RA
Address: 444 Farm Life School Road City: Carthage Zip: 28327

Landowner Information

Landowner Name: Adult & Teen Challenge of Sandhills Phone: 910-947-2944
Address: P.O. Box 1701 City: Southern Pines, NC Zip: 28388

WCF Owner Information

Owner Name: Cellco Partnership d/b/a Verizon Wireless Contact Name: Victoria M. Farmer
Address: 7821 Research Dr. City: Charlotte State: NC Zip: 28262
Office Phone: 704-577-8785
Contact Phone: (V. Farmer) 423-802-7847
Email: Victoria.Farmer@faulkandfoster.com

WCF Facility Information

Street Address: 444 Farm Life School Rd City: Carthage State: NC Zip: 28388
Latitude: 35° 18' 30.40" N Longitude: 79° 21' 19.10" W
Support structure height: 195-ft. Ground elevation (ASML): 372'
Support structure description: ☒ Monopole ☐ Rooftop ☐ Self Supporting Lattice Tower ☐ Guyed Tower ☐ Other
Height of proposed co-location (AGL): 195-ft + 4' lightning rod Additional co-locations available? ☒ YES ☐ NO
Number of co-location slots available: applicant plus three additional tenants



County of Moore Planning and Inspections

Inspections/Permitting: (910) 947-2221
Planning: (910) 947-5010
Fax: (910) 947-1303

APPLICATION REQUIREMENTS

Please check each item per the Moore County Unified Development Ordinance Section 8.101(B):

- ☐ Site Plan. In addition to the site plan requirements per Section 4.2, the following shall be included: details of existing and proposed facilities and fall zone radius labeled "NO BUILD ZONE."
- ☐ Radio Frequency. A statement from a registered engineer that the WCF will be maintained and operated in accordance with all applicable Federal Communications Commission (FCC) rules regarding radio frequency emissions and interference and if there is interference with public safety communications, the applicant shall utilize procedures set forth by the FCC and the party causing the interference shall reimburse the County for all costs associated with resolving the interference.
- ☐ Structural Analysis. Signed and sealed by a NC Registered Professional Engineer that the support structure upon completion of the applicant's installation has the structural integrity to accommodate the proposed equipment and complies with all applicable Federal and State building, fire, structural, electrical, and safety codes.
- ☐ Lighting. Applicant shall provide documentation that lighting shall not exceed the Federal Aviation Administration (FAA) minimum standards (minimum intensity and longest duration between flashes) and shall utilize allowed downward shielding to minimize visual impact to pedestrians and reduce the potential attraction to migratory birds. Strobe lights during daylight hours and red lights during nighttime hours unless specifically prohibited by the FAA. A WCF may utilize a security light controlled by a motion-detector sensor at or near the entrance to the facility.
- ☐ Owner Authorization. Proof that a property and/or antenna support structure owner's agent has appropriate authorization to act upon the owner's behalf if applicable.
- ☐ Insurance. Proof of certificates of insurance of general liability insurance in the amount of at least \$1,000,000 covering any liability arising out of its construction or operation of the WCF.
- ☐ Bond. Applicant shall submit a performance bond or letter of credit from an accepted bank in the amount of \$20,000 or a bond equal to the written estimate from a qualified tower removal contractor to guarantee that the facility will be removed when no longer in use.
- ☐ US Fish and Wildlife Service submitted information, if applicable. ☐ Yes ☐ No
- ☐ National Environmental Policy Act (NEPA) checklist, if applicable. ☐ Yes ☐ No
- ☐ State Historic Preservation Office (SHPO) letter, if applicable. ☐ Yes ☐ No
- ☐ Federal Aviation Administration (FAA) approval, if applicable. ☐ Yes ☐ No
- ☐ Buffer. Refer to Section 7.11. Grading shall be limited to necessary area.
- ☐ Minimum Antennas. Wireless support structures (WSS) up to 80 feet – 2 antennas minimum. WSS between 81 and 100 feet – 3 antennas minimum. WSS 101 and 125 feet – 4 antennas minimum. WSS 126 feet or taller – 5 antennas minimum.
- ☐ Safety. All support structures shall be certified to comply with the safety standards contained in the Electronics Industries Association /Telecommunications Industries Association (EIA/TIA) document 222-F, or current standard, "Structural Standards For Steel Antenna Towers and Supporting Structures," or current standard, as amended, by a Registered North Carolina Professional Engineer. The use shall be totally enclosed by a security fence a minimum (6) feet high with 3-strand barbed wire or razor wire.



County of Moore Planning and Inspections

Inspections/Permitting: (910) 947-2221

Planning: (910) 947-5010

Fax: (910) 947-1303

- ☐ Setbacks. One foot for every 1 foot in linear height from any property line. WCF shall be a minimum 2,640 feet from any designated National Register of Historic Places.
- ☐ Height. Any WSS shall be 195 feet or less in height. The Moore County Board of Commissioners may permit a taller tower only if undisputable evidence is provided at application that the WCF service area will be so substantially compromised that there would be a requirement of additional WCFs within a distance of two (2) miles.
- ☐ Necessity. For all new WSS applications, a certification from the applicant's RF engineer that it is not reasonably feasible (technically or commercially impractical or the owner of the WSS is unwilling to enter a contract at fair market value) to co-locate new antennas and equipment on an existing WSS within the geographic search area.

I (We), the undersigned, certify that all statements furnished in this application are true to the best of my (our) knowledge, and do hereby agree to follow all reasonable requests or information as designated by the County of Moore Zoning Administrator.

Victoria M. Farmer

Digitally signed by Victoria M. Farmer
Date: 2022.02.18 12:48:25 -05'00'

Applicant/Owner Signature

Date

Applicant/Owner Signature

Date

Office Use Only:

PAR ID: _____

Priscilla L. Walters
Received By

2/21/22
Date

App# 38714



To: Moore County Jurisdiction
RE: Verizon Wireless Site #431713 (Swallowtail)
Site Located at: 444 Farm Life School Road/Parcel ID: 859600471781

To Whom It May Concern,

We write to inform you that Verizon Wireless Pursuant to Chapter 8, Section 8.101 B.2 of the Moore County, NC Ordinance has performed a radio frequency (RF) compliance pre-construction evaluation for the above-noted proposed site and based on the result of the evaluation, the site will be compliant with FCC Guidelines.

The FCC has established safety rules relating to potential RF exposure from cell sites. The rules are codified at 47 C.F.R § 1.1310. The FCC provides guidance on how to ensure compliance with its rules in the FCC Office of Engineering and Technology Bulletin 65 (available at https://transition.fcc.gov/Bureaus/Engineering_Technology/Documents/bulletins/oet65/oet65.pdf). The FCC developed the RF standards, known as Maximum Permissible Exposure (MPE) limits, in consultation with numerous other federal agencies, including the Environmental Protection Agency, the Food and Drug Administration, and the Occupational Safety and Health Administration. The FCC provides information about the safety of radio frequency (RF) emissions from cell towers on its website at: <https://www.fcc.gov/engineering-technology/electromagnetic-compatibility-division/radio-frequency-safety/faq/rf-safety>.

Please refer to the FCC Office of Engineering and Technology Bulletin 65 and the attached Verizon Wireless RF Brochure for information on RF exposure guidelines, RF safety, and landlord responsibilities. Questions related to compliance with federal regulations should be directed to VZWRFCCompliance@VerizonWireless.com.

Please contact your local Verizon Wireless resource below if you have additional site-specific questions.

Contact Name	Contact Email	Contact Phone
Kelly Quate	Kelly.quate@verizonwireless.com	7045745273

Sincerely,

Jignesh Choksi
Manager-RF System Design
Verizon Wireless

January 14, 2022

Chris Starks
Verizon Wireless
1101 Matthews Mint Hill Road
Matthews, NC 28105

RE: Proposed 195' Sabre Monopole for Swallowtail, NC

Dear Mr. Starks,

Upon receipt of order, we propose to design and supply the above-referenced Sabre monopole for a Basic Wind Speed of 116 mph without ice and 30 mph with 1.5" ice, Structure Classification II, Exposure Category C, and Topographic Category 1, in accordance with the Telecommunications Industry Association Standard ANSI/TIA 222-G "Structural Standards for Steel Antenna Towers and Antenna-Supporting Structures", using structural steel.

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors. Therefore, it is highly unlikely that the monopole will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within the monopole shaft, above the base plate. Assuming that the wind pressure profile is similar to that used to design the monopole, the monopole will buckle at the location of the highest combined stress ratio within the monopole shaft. This is likely to result in the portion above the highest stress leaning over and remaining in a permanently deformed condition. This would effectively result in a fall radius of 45'. *Please note that this letter only applies to the above-referenced monopole designed and manufactured by Sabre Industries.*

Sincerely,

David Hill, P.E.
Design Engineer II



1/14/22



Verizon Wireless
8921 Research Drive
Charlotte, North Carolina 28262
Phone 704 510-8500

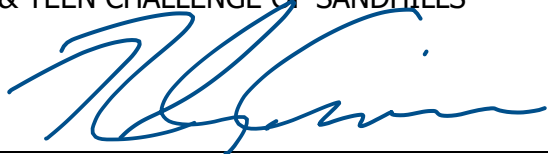
**APPLICATION BY CELCO PARTNERSHIP d/b/a VERIZON WIRELESS FOR THE
INSTALLATION OF TELECOMMUNICATIONS FACILITY
SWALLOWTAIL #431713**

Deborah Ensminger,
Planning and Transportation Director
County of Moore, NC
1048 Carthage Oaks Drive
Carthage, NC 28327
PH: 910-947-5010

Subject: Telecommunications Facility Proposal by
Verizon Wireless Site #431713 (Swallowtail)
Moore County, NC Conditional Rezoning
444 FARM LIFE SCHOOL ROAD
Parcel ID: 859600471781

Adult & Teen Challenge of Sandhills, by its authorized representative, and owner of real estate identified above, hereby authorize Verizon Wireless to submit an application to Moore County, NC Planning & Zoning Department for the purpose of obtaining all necessary zoning and development permits for the installation of a wireless telecommunications facility consisting of a 195-foot antenna support structure to be erected on the subject property, within a leased area of 100'x100'. Said facility to be surrounded by a 50'x50' fence and include a graveled access & utility easement for ingress/egress.

ADULT & TEEN CHALLENGE OF SANDHILLS

By: 

Its: Russell Cambria
Authorized Representative

Date: 11/10/2021



Verizon Wireless
8621 Research Drive
Charlotte, North Carolina 28262
Phone 704 510-8500

**APPLICATION FOR ZONING APPROVAL BY CELLCO PARTNERHSIP d/b/a
VERIZON WIRELESS FOR THE
INSTALLATION OF WIRELESS COMMUNICATION EQUIPMENT**

Deborah Ensminger,
Planning and Transportation Director
County of Moore, NC
1048 Carthage Oaks Drive
Carthage, NC 28327
PH: 910-947-5010

Subject: Telecommunications Facility Proposal by
Verizon Wireless Site #431713 (Swallowtail)
Moore County, NC Conditional Rezoning
444 FARM LIFE SCHOOL ROAD
Parcel ID: 859600471781

Pursuant to Chapter 8, Section 8.101 C.6 of the Moore County, NC Ordinance governing Wireless Telecommunication Facilities, Cellco Partnership d/b/a Verizon Wireless, by its representative, provides this statement of compliance to confirm no commercial structures currently exist within the geographic search area for this proposed wireless communications facility along 444 Farm Life School Road.

Respectfully submitted,
Chase Real Estate Services

Representative for Verizon Wireless

Date: 11-10-2021



CERTIFICATE OF LIABILITY INSURANCE

DATE(MM/DD/YYYY)
11/10/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Aon Risk Services Northeast, Inc. New York NY Office One Liberty Plaza 165 Broadway, Suite 3201 New York NY 10006 USA	CONTACT NAME:	
	PHONE (A/C. No. Ext): (866) 283-7122	FAX (A/C. No.): (800) 363-0105
INSURED Verizon Wireless, LLC 1095 Avenue of the Americas New York NY 10036 USA	E-MAIL ADDRESS:	
	INSURER(S) AFFORDING COVERAGE	
	NAIC #	
	INSURER A: AIU Insurance Company	19399
	INSURER B: National Union Fire Ins Co of Pittsburgh	19445
	INSURER C:	
INSURER D:		
INSURER E:		
INSURER F:		

Holder Identifier :

COVERAGES CERTIFICATE NUMBER: 570090247877 REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS.

Limits shown are as requested

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
B	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> XCU Coverage is Included GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			1728890	06/30/2021	06/30/2022	EACH OCCURRENCE	\$1,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$2,000,000
							MED EXP (Any one person)	\$10,000
							PERSONAL & ADV INJURY	\$1,000,000
							GENERAL AGGREGATE	\$2,000,000
							PRODUCTS - COMP/OP AGG	\$2,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident)	
							BODILY INJURY (Per person)	
							BODILY INJURY (Per accident)	
							PROPERTY DAMAGE (Per accident)	
	UMBRELLA LIAB EXCESS LIAB DED RETENTION						EACH OCCURRENCE	
							AGGREGATE	
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR / PARTNER / EXECUTIVE OFFICER/MEMBER (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N	N/A	16393209 AOS 16393206 CA	06/30/2021	06/30/2022	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER	
A					06/30/2021	06/30/2022	E.L. EACH ACCIDENT	\$1,000,000
							E.L. DISEASE-EA EMPLOYEE	\$1,000,000
							E.L. DISEASE-POLICY LIMIT	\$1,000,000

570090247877

Certificate No :

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

RE: Verizon Site Name: Swallowtail, Joel Rd., Carthage, NC 28327, Location Code: 431713. Moore County Planning and Transportation is included as an Additional Insured with respect to the General Liability policy.

CERTIFICATE HOLDER

CANCELLATION

Moore County Planning and Transportation
Attn: Deborah Ensminger, Director
1048 Carriage Oaks Drive
Carthage NC 28327 USA

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Aon Risk Services Northeast, Inc.

©1988-2015 ACORD CORPORATION. All rights reserved

AGENCY CUSTOMER ID: 570000027366

LOC #:



ADDITIONAL REMARKS SCHEDULE

Page _ of _

AGENCY Aon Risk Services Northeast, Inc.		NAMED INSURED Verizon Wireless, LLC	
POLICY NUMBER See Certificate Numbe 570090247877			
CARRIER See Certificate Numbe 570090247877	NAIC CODE	EFFECTIVE DATE:	

ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,

FORM NUMBER: ACORD 25 FORM TITLE: Certificate of Liability Insurance

INSURER(S) AFFORDING COVERAGE	NAIC #
INSURER	
INSURER	
INSURER	
INSURER	

ADDITIONAL POLICIES

If a policy below does not include limit information, refer to the corresponding policy on the ACORD certificate form for policy limits.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
	WORKERS COMPENSATION						
A		N/A		16393207 NY	06/30/2021	06/30/2022	
A		N/A		16393208 MA, ND, OH, WI, WY	06/30/2021	06/30/2022	
A		N/A		16393205 NJ, TX, VA	06/30/2021	06/30/2022	

TOWER / STRUCTURE / ANTENNA/ EQUIPMENT REMOVAL BOND

Bond #CMS0346710

Site Name: Swallowtail

Site Location: Joel Road, Carthage, NC 28327

Verizon Project #: 16145746

Verizon Tower Location Code: 431713

KNOW ALL MEN BY THESE PRESENTS, THAT, Cellco Partnership, as Principal, and RLI Insurance Company, a corporation duly organized under the laws of the State of Illinois, as Surety, are held and firmly bound unto Moore County, 1048 Carriage Oaks Drive, Carthage, NC 28327, as Obligee, in the sum of Twenty Thousand and 00/100 (\$20,000.00) lawful money of the United States, for the payment of which, well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents, the liability of the Surety being limited to the penal sum of this bond regardless of the number of years the bond is in effect.

WHEREAS the Principal has entered into a written agreement with the property owner for the placement of a tower(s), structure(s), antenna(s), and/or equipment furnishing telephone, television or other electronic media service, which agreement sets forth the terms and conditions which govern the use of such tower(s), structure(s), antenna(s), and/or equipment and which agreement is hereby specifically referred to and made part hereof, and

WHEREAS, the Obligee requires the submission of a bond guaranteeing the maintenance, replacement, removal or relocation of said tower(s), structure(s), antenna(s), and/or equipment.

NOW THEREFORE, the condition of this obligation is such, that if the above bounden Principal shall perform in accordance with the aforesaid ordinance and/or agreement, and indemnify the Obligee against all loss caused by Principal's breach of any ordinance or agreement relating to maintenance, replacement, removal or relocation of a tower(s), structure(s), antenna(s), and/or equipment, then this obligation shall be void, otherwise to remain in full force and effect unless cancelled as set forth below.

THIS BOND may be cancelled by Surety by giving thirty (30) days written notice to the Obligee by certified mail. Such cancellation shall not affect any liability the Surety may have or incurred under this bond prior to the effective date of the termination. Provided that no action, suit or proceeding shall be maintained against the Surety on this bond unless action is brought within twelve (12) months of the cancellation date of this bond.

THIS BOND signed, sealed, dated on the 9th day of November, 2021. This bond is effective the 9th day of November, 2021.

Cellco Partnership

Principal

By: 

RLI Insurance Company

Surety

By: 

Leah L. Juenger, Attorney-In-Fact

POWER OF ATTORNEY

RLI Insurance Company Contractors Bonding and Insurance Company

9025 N. Lindbergh Dr. Peoria, IL 61615
Phone: 800-645-2402

Bond No. CMS0346710

Know All Men by These Presents:

That this Power of Attorney is not valid or in effect unless attached to the bond which it authorizes, but may be detached by the approving officer if desired.

That this Power of Attorney may be effective and given to either or both of **RLI Insurance Company** and **Contractors Bonding and Insurance Company**, required for the applicable bond.

That **RLI Insurance Company** and/or **Contractors Bonding and Insurance Company**, each Illinois corporations (as applicable), each authorized and licensed to do business in all states and the District of Columbia do hereby make, constitute and appoint:

Leah L. Juenger in the City of St. Louis, State of Missouri,

it's true and lawful Agent and Attorney in Fact, with full power and authority hereby conferred upon him/her to sign, execute, acknowledge and deliver for and on its behalf as Surety, in general, any and all bonds and undertakings in an amount not to exceed Twenty Five Million Dollars (\$25,000,000) for any single obligation, and specifically for the following described bond.

Principal: Cellco Partnership

Obligee: Moore County

RLI Insurance Company and **Contractors Bonding and Insurance Company**, as applicable, have each further certified that the following is a true and exact copy of a Resolution adopted by the Board of Directors of each such corporation, and now in force, to-wit:

"All bonds, policies, undertakings, Powers of Attorney or other obligations of the Corporation shall be executed in the corporate name of the Corporation by the President, Secretary, any Assistant Secretary, Treasurer, or any Vice President, or by such other officers as the Board of Directors may authorize. The President, any Vice President, Secretary, any Assistant Secretary, or the Treasurer may appoint Attorneys in Fact or Agents who shall have authority to issue bonds, policies or undertakings in the name of the Corporation. The corporate seal is not necessary for the validity of any bonds, policies, undertakings, Powers of Attorney or other obligations of the Corporation. The signature of any such officer and the corporate seal may be printed by facsimile or other electronic image."

IN WITNESS WHEREOF, **RLI Insurance Company** and/or **Contractors Bonding and Insurance Company**, as applicable, have caused these presents to be executed by its respective Vice President with its corporate seal affixed this 9th day of November, 2021.



State of Illinois

County of Peoria

} SS

On this 9th day of November, 2021, before me, a Notary Public, personally appeared Barton W. Davis, who being by me duly sworn, acknowledged that he signed the above Power of Attorney as the aforesaid officer of the **RLI Insurance Company** and/or **Contractors Bonding and Insurance Company**, and acknowledged said instrument to be the voluntary act and deed of said corporation.

By: Jacqueline M. Bockler Notary Public



RLI Insurance Company
Contractors Bonding and Insurance Company

B. W. Davis
Barton W. Davis Vice President

CERTIFICATE

I, the undersigned officer of **RLI Insurance Company** and/or **Contractors Bonding and Insurance Company**, do hereby certify that the attached Power of Attorney is in full force and effect and is irrevocable; and furthermore, that the Resolution of the Company as set forth in the Power of Attorney, is now in force. In testimony whereof, I have hereunto set my hand and the seal of the **RLI Insurance Company** and/or **Contractors Bonding and Insurance Company** this 9th day of November, 2021.

RLI Insurance Company
Contractors Bonding and Insurance Company

By: Jeffrey D. Dick Corporate Secretary

* Federal Airways & Airspace *

* Summary Report: New Construction *

* Antenna Structure *

*

Airspace User: Not Identified

File: SWALLOWTAIL

Location: Whispering Pines, NC

Latitude: 35°-18'-30.4" Longitude:

79°-21'-19.1"

SITE ELEVATION AMSL.....372.2 ft.

STRUCTURE HEIGHT.....199 ft.

OVERALL HEIGHT AMSL.....571 ft.

NOTICE CRITERIA

FAR 77.9(a): NNR (DNE 200 ft AGL)

FAR 77.9(b): NNR (DNE Notice Slope)

FAR 77.9(c): NNR (Not a Traverse Way)

FAR 77.9: NNR FAR 77.9 IFR Straight-In Notice Criteria for BQ1

FAR 77.9: NNR FAR 77.9 IFR Straight-In Notice Criteria for SOP

FAR 77.9(d): NNR (Off Airport Construction)

NR = Notice Required

NNR = Notice Not Required

PNR = Possible Notice Required (depends upon actual IFR procedure)

bottom For new construction review Air Navigation Facilities at

of this report.

Notice to the FAA is not required at the analyzed location and height

for

slope, height or Straight-In procedures. Please review the 'Air

Navigation'

section for notice requirements for offset IFR procedures and EMI.

OBSTRUCTION STANDARDS

FAR 77.17(a)(1): DNE 499 ft AGL

FAR 77.17(a)(2): DNE - Airport Surface

FAR 77.19(a): DNE - Horizontal Surface

FAR 77.19(b): DNE - Conical Surface

FAR 77.19(c): DNE - Primary Surface

FAR 77.19(d): DNE - Approach Surface

FAR 77.19(e): DNE - Approach Transitional Surface

FAR 77.19(e): DNE - Abeam Transitional Surface

VFR TRAFFIC PATTERN AIRSPACE FOR: BQ1: GILLIAM - MC CONNELL AIRFIEL

Type: A RD: 25988.72 RE: 436.3

FAR 77.17(a)(1): DNE
FAR 77.17(a)(2): Does Not Apply.
VFR Horizontal Surface: DNE
VFR Conical Surface: DNE
VFR Primary Surface: DNE
VFR Approach Surface: DNE
VFR Transitional Surface: DNE

VFR TRAFFIC PATTERN AIRSPACE FOR: SOP: MOORE COUNTY

Type: A RD: 25186.7 RE: 431.3

FAR 77.17(a)(1): DNE
FAR 77.17(a)(2): DNE - Height No Greater Than 200 feet AGL.
VFR Horizontal Surface: DNE
VFR Conical Surface: DNE
VFR Primary Surface: DNE
VFR Approach Surface: DNE
VFR Transitional Surface: DNE

TERPS DEPARTURE PROCEDURE (FAA Order 8260.3, Volume 4)

FAR 77.17(a)(3) Departure Surface Criteria (40:1)
DNE Departure Surface

MINIMUM OBSTACLE CLEARANCE ALTITUDE (MOCA)

FAR 77.17(a)(4) MOCA Altitude Enroute Criteria
The Maximum Height Permitted is 2042 ft AMSL

PRIVATE LANDING FACILITIES

FACIL	BEARING	RANGE	DELTA
ARP FAA	To FACIL	IN NM	
ELEVATION IFR			
-----	-----	-----	
NR88 AIR TOBACCO ROAD	223.95	2.3	+93
No Impact to Private Landing Facility.			
DNE 200 ft AGL within 3 NM of Airport.			
84NC AIR ROOSTER FLD	111.9	5.65	
+231			
No Impact to VFR Transitional Surface.			
Below surface height of 465 ft above ARP.			

AIR NAVIGATION ELECTRONIC FACILITIES

FAC	ST	DIST	DELTA
GRND APCH			
IDNT	TYPE	AT	FREQ VECTOR (ft) ELEVA ST LOCATION
ANGLE BEAR			

```

-----
COUN    SOP  LOCALIZER  I   111.5 197.41  24287  +143 NC RWY 05 MOORE
      .34   54
      EEJ  NDB          D      42  59.1   45949   +81 NC LEE
COUNTY/DCMSND      .10
      SDZ  VORTAC       R   111.8 243.95  77252   -17 NC SANDHILLS
-.01
      FAY  RADAR        I   2740. 160.55 103124  +188 NC FAYETTEVILLE
REGI    .10
      No Impact. This structure does not require Notice based upon EMI.
      The studied location is within 20 NM of a Radar facility.
      The calculated Radar Line-Of-Sight (LOS) distance is: 53 NM.
      This location and height is within the Radar Line-Of-Sight.

      POB  TACAN        R   113.8 117.04 112477  +366 NC POPE
.19
      FAY  VOR/DME      I   108.8 129.44 185552  +384 NC FAYETTEVILLE
.12
      LIB  VORTAC       I   113.0 337.4  198498  -257 NC LIBERTY
-.07

```

CFR Title 47, §1.30000-§1.30004

AM STUDY NOT REQUIRED: Structure is not near a FCC licensed AM station.

Movement Method Proof as specified in §73.151(c) is not required.
Please review 'AM Station Report' for details.

Nearest AM Station: WEEB @ 13477 meters.

Airspace® Summary Version 21.7.612

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08-27-2021

11:01:08

K:\ATL_Wireless\000_Verizon\2020_Sites\Swallowtail\CD\GB\ECor-GB.dwg ----- 03/09/22 4:45 PM by: christopher.strange



8921 RESEARCH DRIVE
CHARLOTTE, NC 28262

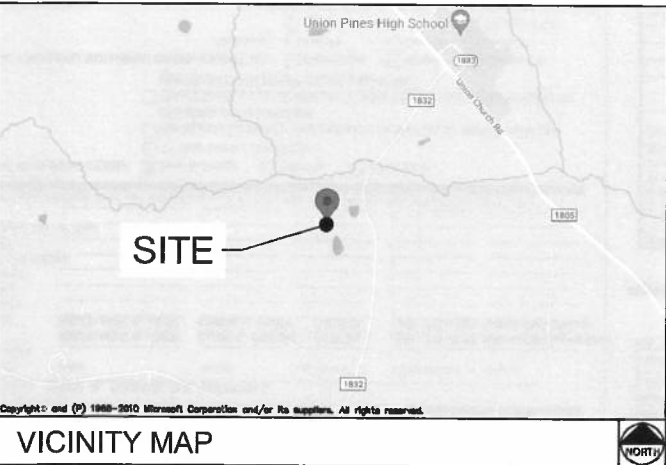
SWALLOWTAIL
SITE ADDRESS (E-911 TBD)

452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY
LATITUDE: 35° 18' 30.40" N
LONGITUDE: 79° 21' 19.10" W
PARCEL ID: 00006478
TAX/PIN #: 859600471781
ZONING: RA
PROPOSED REZONING: RACZ

- A. EXISTING PROPERTY SQUARE FOOTAGE: 1,233,140 SQUARE FEET
B. EXISTING PROPERTY IMPERVIOUS SURFACES AREA: 46,750 SQUARE FEET
C. EXISTING BUILT UPON AREA: 3.79%
D. PROPOSED IMPERVIOUS SURFACED: 4,597 SQUARE FEET
E. PROPOSED BUILT UPON AREA: 4.16% (0.37% INCREASE)

MOORE COUNTY SHERIFF
302 S McNEIL ST
CARTHAGE, NC 28327
PHONE: (910) 947-2931
ATTN.: CUSTOMER SERVICE

CARTHAGE FIRE DEPARTMENT
4396 US-501
CARTHAGE, NC 28327
PHONE: (910) 947-2226
ATTN.: CUSTOMER SERVICE



FROM CHARLOTTE OFFICE: TAKE RESEARCH DR TO W.W.T. HARRIS BLVD (1.2MI); FOLLOW I-485 INNER AND NC-24 E/NC-27 E TO UNION CHURCH RD IN CARTHAGE (93.6MI); CONTINUE ON UNION CHURCH RD. DRIVE TO FARM LIFE SCHOOL RD (4.2MI); SLIGHT RIGHT ONTO UNION CHURCH RD (3.6MI) TURN RIGHT ONTO FARM LIFE SCHOOL RD (0.6MI) DESTINATION WILL BE ON YOUR RIGHT

DRIVING DIRECTIONS

JURISDICTION:
MOORE COUNTY

STATE:
NORTH CAROLINA

TOWER TYPE:
MONOPOLE TOWER

TOWER HEIGHT:
195' (199' TO HIGHEST APPURTENANCE)

NUMBER OF CARRIERS:
0 EXISTING, 1 PROPOSED

USE:
PROPOSED TELECOMMUNICATIONS TOWER
AND UNMANNED EQUIPMENT

FLOOD INFO
SITE IS LOCATED WITHIN FEMA FLOOD MAP
AREA 3710858600J DATED 10/17/2006 WITHIN
FLOOD ZONE X.

PROJECT SUMMARY

DEVELOPER
VERIZON WIRELESS
8921 RESEARCH DRIVE
CHARLOTTE, NC 28262
PHONE: (704) 577-8785
ATTN: MICHAEL HAVEN

POWER COMPANY
CENTRAL ELECTRIC MEMBERSHIP CORP.
PHONE: (800) 774-4900
ATTN.: CUSTOMER SERVICE

PROPERTY OWNER
ADULT & TEEN CHALLENGE OF SANDHILLS
PO BOX 1701
SOUTHERN PINES, NC 28388
PHONE: (910) 947-2944
ATTN.: SAL DIBIANCA

CONSULTANT
KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GEORGIA 30009
PHONE: (770) 545-6105
ATTN.: DAVID FRANKLIN

CONTACTS

SHEET NO.	SHEET TITLE
T1	COVER SHEET
T2	APPENDIX B - BUILDING CODE SUMMARY
--	SURVEY SHEET (1 OF 3)
--	SURVEY SHEET (2 OF 3)
--	SURVEY SHEET (3 OF 3)
N1	GENERAL NOTES
C0	OVERALL AERIAL PLAN
C1	OVERALL SITE PLAN
C2	SITE PLAN
C3	EQUIPMENT PAD LAYOUT
C4	EQUIPMENT RACK DETAIL - FRONT
C5	EQUIPMENT RACK DETAIL - REAR
C6	CONCRETE PAD FOUNDATION DETAILS
C7	FENCE, GATE, AND COMPOUND DETAILS
C7.1	CATTLE GATE DETAIL
C8	GRADING AND EROSION CONTROL PLAN
C9	GRADING AND EROSION CONTROL DETAILS
C10	ACCESS ROAD DETAILS
C11	SITE SIGNAGE DETAILS
C12	WAVEGUIDE BRIDGE DETAILS
C13	ANTENNA AND TOWER ELEVATION DETAILS
M1	MECHANICAL PLAN & NOTES
E1	ELECTRICAL NOTES
E2	UTILITY SERVICE ROUTING PLAN
E3	OVERALL UTILITY ROUTING PLAN
E4	METER RACK DETAILS
E5	ELECTRICAL SINGLE LINE DIAGRAM
E6	PANEL SCHEDULE
E7	ELECTRICAL DETAILS
E8	GROUNDING NOTES
E9	GROUNDING PLAN
E10	GROUNDING SINGLE LINE DIAGRAM
E11	GROUNDING DETAILS
E12	GROUNDING DETAILS

SHEET INDEX

MOORE COUNTY PLANNING & ZONING
1048 CARRIAGE OAKS DRIVE
CARTHAGE, NC 28327
PHONE: (910) 947-2221
ATTN.: CHARLES HILL

PERMIT INFORMATION



8921 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

PLANS PREPARED BY:

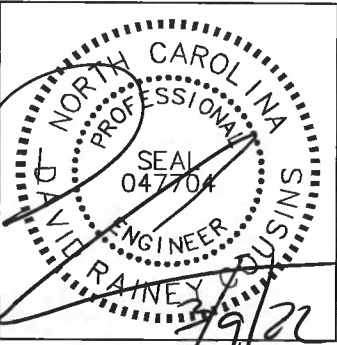


11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-519-4280
WWW.KIMLEY-HORN.COM
NC License F-0102

REV: DATE: ISSUED FOR: BY:

8			
7			
6			
5			
4			
3	03/07/22	CONSTRUCTION	DRC
2	12/13/21	CONSTRUCTION	DRC
1	10/11/21	CONSTRUCTION	DRC
0	09/07/21	CONSTRUCTION	DRC

LICENSER:



KHA PROJECT NUMBER:

013509278

DRAWN BY: CHECKED BY:

JAR DMF

SHEET TITLE:

COVER SHEET

SHEET NUMBER:

T1

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: **VERIZON WIRELESS - SWALLOWTAIL**
Address: **452 FARM LIFE SCHOOL RD, CARTHAGE, NC** Zip Code: **28327**
Owner/Authorized Agent: **DAVID COUSINS** Phone # (**770**) **545-8105** E-Mail: **david.cousins@kimley-horn.com**
Owned By: ☐ City/County ☒ Private ☐ State ☐ Other
Code Enforcement Jurisdiction: ☐ City ☒ County **MOORE** ☐ State

CONTACT: **DAVID R. COUSINS, P.E. (#047704)**

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	KIMLEY-HORN & ASSOC.	DAVID R. COUSINS	047704	(678) 274-5032	david.cousins@kimley-horn.com
Civil	KIMLEY-HORN & ASSOC.	CORIN C. HARRY	040828	(818) 877-2000	corin.harry@kimley-horn.com
Electrical					
Fire Alarm					
Plumbing					
Mechanical					
Sprinkler-Standpipe					
Structural					
Retaining Walls >5' High					
Other					

(*Other* should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE: ☒ New Building ☐ Addition ☐ Renovation
☐ 1st Time Interior Completion
☐ Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements
☐ Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE: EXISTING: ☐ Prescriptive ☐ Repair ☐ Chapter 14
Alteration: ☐ Level I ☐ Level II ☐ Level III ☐ Level IV
☐ Historic Property ☐ Change of Use

CONSTRUCTED: (date) _____ CURRENT OCCUPANCY(S) (Ch. 3): **TELECOMMUNICATIONS SITE**
RENOVATED: (date) _____ PROPOSED OCCUPANCY(S) (Ch. 3): **TELECOMMUNICATIONS SITE**

RISK CATEGORY (Table 1604.5): Current: ☐ I ☐ II ☐ III ☐ IV
Proposed: ☐ I ☐ II ☐ III ☐ IV

BASIC BUILDING DATA
Construction Type: ☐ I-A ☐ II-A ☐ III-A ☐ IV ☐ V-A
(check all that apply) ☐ I-B ☐ II-B ☐ III-B ☐ V-B
Sprinklers: ☐ No ☐ Partial ☐ Yes ☐ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D
Standpipes: ☐ No ☐ Yes Class ☐ I ☐ II ☐ III ☐ Wet ☐ Dry
Fire District: ☐ No ☐ Yes ☐ Flood Hazard Area: ☐ No ☐ Yes
Special Inspections Required: ☐ No ☐ Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
3 rd Floor			
2 nd Floor			
Mezzanine			
1 st Floor			
Basement			
TOTAL			

ALLOWABLE AREA

Primary Occupancy Classification(s): Select one Select one Select one Select one Select one Select one
Assembly ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
Business ☐ B-1 ☐ B-2 ☐ B-3 ☐ B-4 ☐ B-5
Educational ☐ E-1 ☐ E-2 ☐ E-3 ☐ E-4 ☐ E-5
Factory ☐ F-1 Moderate ☐ F-2 Low ☐ F-3 High ☐ F-4 Very High
Hazardous ☐ H-1 Detonate ☐ H-2 Deflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM
Institutional ☐ I-1 Condition ☐ I-2 Condition ☐ I-3 Condition ☐ I-4
Mercantile ☐ M-1 ☐ M-2 ☐ M-3 ☐ M-4
Residential ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
Storage ☐ S-1 Moderate ☐ S-2 Low ☐ High-piled
☐ Parking Garage ☐ Open ☐ Enclosed ☐ Repair Garage
Utility and Miscellaneous ☐ U-1 ☐ U-2 ☐ U-3 ☐ U-4

Accessory Occupancy Classification(s):
Incidental Uses (Table 509):
Special Uses (Chapter 4 - List Code Sections):
Special Provisions (Chapter 5 - List Code Sections):
Mixed Occupancy: ☐ No ☐ Yes Separation: _____ Hr. Exception: _____

☐ Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
☐ Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

Actual Area of Occupancy A + Actual Area of Occupancy B
Allowable Area of Occupancy A Allowable Area of Occupancy B ≤ 1

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 ⁴ AREA	(C) AREA FOR FRONTAGE INCREASE ^{1,5}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ³

1 Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)
b. Total Building Perimeter = _____ (P)
c. Ratio (F/P) = _____ (F/P)
d. W = Minimum width of public way = _____ (W)
e. Percent of frontage increase $I_f = 100(F/P - 0.25) \times W/30 = ______ (\%)$
2 Unlimited area applicable under conditions of Section 507.
3 Maximum Building Area = total number of stories in the building x D (maximum stories) (506.2).
4 The maximum area of open parking garages must comply with Table 406.2.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
5 Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.5)			
Building Height in Stories (Table 504.4)			

Provide code reference for "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses	N/A					
Bearing Walls						
Exterior						
North	N/A	2				
East	N/A	2				
West	N/A	2				
South	N/A					
Interior						
Nonbearing Walls and Partitions						
Exterior walls						
North	N/A					
East	N/A					
West	N/A					
South	N/A					
Interior walls and partitions						
Floor Construction						
Including supporting beams and joists						
Floor Ceiling Assembly						
Columns Supporting Floors						
Roof Construction, including supporting beams and joists						
Roof Ceiling Assembly						
Columns Supporting Roof						
Shaft Enclosures - Exit						
Shaft Enclosures - Other						
Corridor Separation						
Occupancy/Use Barrier Separation						
Party/Fire Wall Separation						
Smoke Barrier Separation						
Smoke Partition						
Tenant/Dwelling Unit/Sleeping Unit Separation						
Incidental Use Separation						

* Indicate section number permitting reduction

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)

LIFE SAFETY SYSTEM REQUIREMENTS
Emergency Lighting: ☐ No ☒ Yes
Exit Signs: ☐ No ☒ Yes
Fire Alarm: ☐ No ☒ Yes
Smoke Detection Systems: ☐ No ☒ Yes ☐ Partial
Carbon Monoxide Detection: ☒ No ☐ Yes

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #:
☐ Fire and/or smoke rated wall locations (Chapter 7)
☐ Assumed and real property line locations (if not on the site plan)
☐ Exterior wall opening area with respect to distance to assumed property lines (705.8)
☐ Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
☐ Occupant loads for each area
☐ Exit access travel distances (1017)
☐ Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
☐ Dead end lengths (1020.4)
☐ Clear exit widths for each exit door
☐ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
☐ Actual occupant load for each exit door
☐ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
☐ Location of doors with panic hardware (1010.1.10)
☐ Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
☐ Location of doors with electromagnetic egress locks (1010.1.9.9)
☐ Location of doors equipped with hold-open devices
☐ Location of emergency escape windows (1030)
☐ The square footage of each fire area (202)
☐ The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
☐ Note any code exceptions or table notes that may have been utilized regarding the items above

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	# OF ACCESSIBLE SPACES PROVIDED	REGULAR WITH 5' ACCESSIBLE	132" VAN SPACES WITH 5' ACCESSIBLE	8' ACCESSIBLE	TOTAL # ACCESSIBLE SPACES PROVIDED
TOTAL						

USE	WATERCLOSURES	URINALS	LAVATORIES	SHOWERS	DRINKING FOUNTAINS
SPACE	EXIST'G	NEW	REQ'D		

SPECIAL APPROVALS
Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attributes required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: ☐ No ☐ Yes (The remainder of this section is not applicable)
Exempt Building: ☐ No ☐ Yes (Provide code or statutory reference):

Climate Zone: ☐ 3A ☐ 4A ☐ 5A
Method of Compliance: Energy Code ☐ Performance ☐ Prescriptive
ASHRAE 90.1 ☐ Performance ☐ Prescriptive
(If "Other" specify source here)

THERMAL ENVELOPE (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Skylights in each assembly: _____
U-Value of skylight: _____
total square footage of skylights in each assembly: _____

Exterior Walls (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Openings (windows or doors with glazing)
U-Value of assembly: _____
Solar heat gain coefficient: _____
projection factor: _____
Door R-Values: _____

Walls below grade (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors over unconditioned space (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors slab on grade
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Horizontal/vertical requirement: _____
slab heated: _____

NOTE: SCOPE OF WORK INCLUDES INSTALLATION OF
CAST IN PLACE CONCRETE PAD, PREFABRICATED
EQUIPMENT CABINETS AND GENERATOR.
NO NEW BUILDING BEING CONSTRUCTED.

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
STRUCTURAL DESIGN
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:
Importance Factors: Snow (Is) **1.0**
Seismic (Is) **1.0**
Live Loads: Roof **93** psf
Mezzanine **N/A** psf
Floor **208** psf
Ground Snow Load: **102** psf
Wind Load: Basic Wind Speed **94** mph (ASCE-7)
Exposure Category **N/A**

NOTE: STRUCTURAL ANALYSIS COMPLETED BY TOWER OWNER. SEE ANALYSIS BY OTHERS FOR ADDITIONAL STRUCTURAL DATA.

SEISMIC DESIGN CATEGORY: ☐ A ☐ B ☐ C ☒ D
Provide the following Seismic Design Parameters:
Risk Category (Table 1604.5) ☒ I ☐ II ☐ III ☐ IV
Spectral Response Acceleration S_s **3.0** %g S_1 **0.75** %g
Site Classification (ASCE 7) ☐ A ☐ B ☐ C ☒ D ☐ E ☐ F
Data Source: ☐ Field Test ☐ Presumptive ☐ Historical Data
Basic structural system: ☐ Bearing Wall ☐ Dual w/Intermediate Moment Frame
☒ Building Frame ☐ Dual w/Intermediate R/C or Special Steel
☐ Moment Frame ☐ Inverted Pendulum
Analysis Procedure: ☐ Simplified ☐ Equivalent Lateral Force ☐ Dynamic
Architectural, Mechanical, Components anchored? ☒ Yes ☐ No

LATERAL DESIGN CONTROL: Earthquake ☒ Wind ☒

SOIL BEARING CAPACITIES:
Field Test (provide copy of test report) **N/A** psf
Presumptive Bearing capacity **2000** psf
Pile size, type, and capacity **N/A**

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
MECHANICAL DESIGN
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SUMMARY
MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone
winter dry bulb: _____
summer dry bulb: _____
Interior design conditions
winter dry bulb: _____
summer dry bulb: _____
relative humidity: _____
Building heating load: _____
Building cooling load: _____
Mechanical Spacing Conditioning System
Unitary
description of unit: _____
heating efficiency: _____
cooling efficiency: _____
size category of unit: _____
Boiler
Size category. If oversized, state reason: _____
Chiller
Size category. If oversized, state reason: _____
List equipment efficiencies: _____

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
ELECTRICAL DESIGN
(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SUMMARY
ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: Energy Code ☐ Performance ☒ Prescriptive
ASHRAE 90.1 ☐ Performance ☐ Prescriptive
Lighting schedule (each fixture type)
lamp type required in fixture
number of lamps in fixture
ballast type used in the fixture
number of ballasts in fixture
total wattage per fixture
total interior wattage specified vs. allowed (whole building or space by space)
total exterior wattage specified vs. allowed

Additional Efficiency Package Options
(When using the 2018 NEC; not required for ASHRAE 90.1)
☐ C406.2 More Efficient HVAC Equipment Performance
☐ C406.3 Reduced Lighting Power Density
☐ C406.4 Enhanced Digital Lighting Controls
☐ C406.5 On-Site Renewable Energy
☐ C406.6 Dedicated Outdoor Air System
☐ C406.7 Reduced Energy Use in Service Water Heating

verizon

8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

PLANS PREPARED BY:

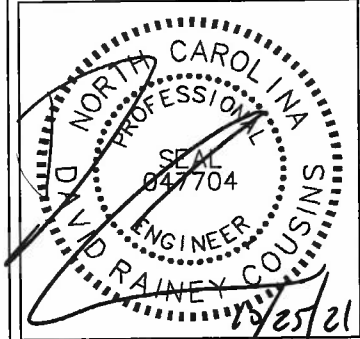
Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-819-4280
WWW.KIMLEY-HORN.COM
NC License F-0102

REV: _____ DATE: _____ ISSUED FOR: _____ BY: _____

8			
7			
6			
5			
4			
3			
2			
1	10/11/21	CONSTRUCTION	DRC
0	09/07/21	CONSTRUCTION	DRC

LICENSER: _____



KHA PROJECT NUMBER:
013509278

DRAWN BY: _____ CHECKED BY: _____
JAR DMF

SHEET TITLE:

APPENDIX B -
BUILDING CODE
SUMMARY

SHEET NUMBER:

T2

- NOTES
- THIS SITE SURVEY HAS BEEN PREPARED PARTIALLY FROM AN ACTUAL FIELD SURVEY AND PARTIALLY FROM MAPS AND DEEDS OF RECORD.
 - PROPERTY SUBJECT TO ANY VALID & ENFORCEABLE EASEMENTS, RESTRICTIONS & RIGHT OF WAY OF RECORD.
 - ALL PROPERTY OWNERS ARE NOW OR FORMERLY. ADJACENT OWNER INFORMATION TAKEN FROM COUNTY TAX RECORDS.
 - AREA BY COMPUTER (COORDINATE METHOD).
 - ALL DISTANCES SHOWN ARE GROUND DISTANCES UNLESS OTHERWISE NOTED.
 - NORTH ORIENTATION BASED UPON NC GRID AND WAS ESTABLISHED BY SURVEY GRADE LEICA DUAL FREQUENCY GPS RECEIVER.
 - THIS MAP IS OF LEASED PROPERTY AND DOES NOT CREATE A SUBDIVISION OF LAND.
 - THIS MAP IS FOR LEASE PURPOSES AND IS NOT A BOUNDARY SURVEY OF THE ENTIRE TRACT.
 - SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA PANEL 3710858600J WITH AN EFFECTIVE DATE OF OCTOBER 17, 2006.

LEGEND

B = BUILDING
D.B. = DEED BOOK
IPF = #5 REBAR FOUND
IPPF = IRON PIPE FOUND
IPS = #4 REBAR SET
PP = POWER POLE
P.S. = PLAT SLIDE

LINETYPE LEGEND

— = PARENT TRACT PARCEL LINES
- - - = ADJACENT PARCEL LINES
- - - = LESSEE LEASE LINES
- - - = FENCE LINES
- - - = EASEMENT LINES
- - - = UTILITY LINES

I HEREBY CERTIFY THAT THIS MAP WAS DRAWN FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION AND ACCURATELY DEPICTS THE LOCATIONS OF THIS SITE AS SURVEYED IN THE FIELD AND IS NOT INTENDED TO BE A BOUNDARY SURVEY OF THE PROPERTY SHOWN. I FURTHER CERTIFY THAT THIS MAP WAS DRAWN BY ME FROM AN ACTUAL GPS SURVEY MADE BY ME AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY

- CLASS OF SURVEY: A
- POSITIONAL ACCURACY: <0.10'
- TYPE OF GPS SURVEY PROCEDURE: NCGS NETWORK RTK USING A LEICA GS14 RECEIVER
- DATES OF SURVEY: MAY 19, 2020, JULY 26, 2021
- DATUM/EPOCH: NAD 83(NSRS2011)
- PUBLISHED/FIXED-CONTROL: VRS NETWORK
- GEOID MODEL: GEOID12B (CONUS)
- COMBINED GRID FACTOR: 0.999860
- UNITS: U.S. SURVEY FEET

Edward L. Killough
EDWARD L. KILLOUGH L-1519 DATE: 7/26/21
P.O. BOX 369
INDIAN TRAIL, NC 28079
TELEPHONE NO. 704 821-7111



PIN # 859600279488
BRADY VENTURES, LLC
D.B. 4273 PG. 325

PIN # 859600363180
BRANDON COLEMAN
D.B. 4210 PG. 317

PIN # 859600473055
CHARLES STEVE CADDELL
D.B. 1482 PG. 384

PIN # 859600460358
ZACHARY J. BEALL
D.B. 4746 PG. 508

PIN # 859700104294
MARGARET ANNE McNEILL, LLC
D.B. 2971 PG. 475

PROPERTY LINE
FOLLOWS
DUNHAMNS CREEK

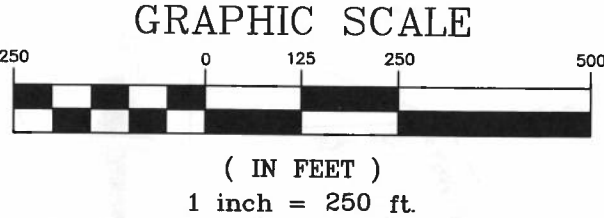
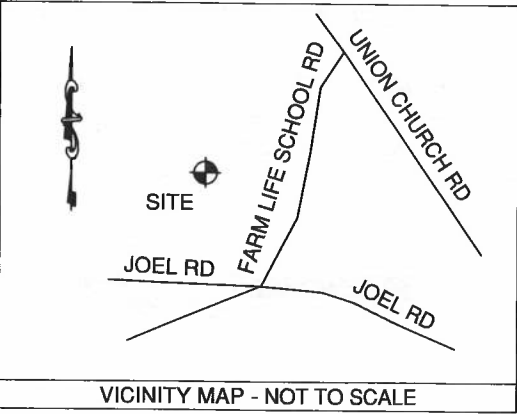
PARCEL ID # 00006478
PIN # 859600471781
ADULT & TEEN CHALLENGE of
SANDHILLS, NORTH CAROLINA
D.B. 5101 PG. 332

PUBLIC RIGHT OF WAY
D.B. 277 PG. 510

NOTES ON REVIEW OF TITLE REPORT:

FIDELITY NATIONAL TITLE INSURANCE COMPANY
ISSUE DATE: 7/09/2021 FIDELITY ORDER NO. 34836064

FROM A SURVEY STANDPOINT THE ITEMS LISTED IN THE TITLE REPORT
DO NOT AFFECT THE LESSEE'S PREMISES.



Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600, ALPHARETTA, GA 30009
PHONE: 770-825-0744 WWW.KIMLEY-HORN.COM

Drawn by: EK Check by: EK Approved by: EK Date: 7/26/21

SWALLOWTAIL
FARM LIFE SCHOOL ROAD
CARTHAGE, NC 28327
MOORE COUNTY



Cellco Partnership d/b/a Verizon Wireless

REVISIONS

No.	DATE	DESCRIPTION	BY	CHK	APP'D
A1	7/26/21	MOVED TOWER and LESSEE PREMISES and ISSUED AS FINAL	EK	EK	EK
A	5/23/20	ISSUED FOR REVIEW	EK	EK	EK

SITE SURVEY

PROPOSED TOWER

DRAWING No. SHEET 1 OF 3 REV 0

CENTER OF
PROPOSED TOWER
LAT = 35°18'30.4" N
LONG = 79°21'19.1" W
GROUND ELEVATION = 372.2' NAVD 88
IRON PIN SET ELEVATION = 372.21'

LINETYPE LEGEND

- = PARENT TRACT PARCEL LINES
- - - = ADJACENT PARCEL LINES
- - - = LESSEE LEASE LINES
- - - = FENCE LINES
- - - = EASEMENT LINES
- - - = UTILITY LINES

LEGEND

- = CALCULATED POINT
- B = BUILDING
- D.B. = DEED BOOK
- EL = ELEVATION
- FOV = FIBER OPTIC VAULT
- IPF = 1/2" IRON PIN FOUND (#4 REBAR)
- IPPF = IRON PIPE FOUND
- IPS = 1/2" IRON PIN SET (#4 REBAR)
- NCSP = NC STATE PLANE
- P.B. = PLAT BOOK
- PIPPF = PINCHED IRON PIPE FOUND
- POB = POINT OF BEGINNING
- POC = POINT OF COMMENCEMENT
- POT = POINT OF TERMINUS
- PP = POWER POLE
- PP-TR = POWER POLE WITH TRSF
- R/W = RIGHT OF WAY
- TP = TELEPHONE PEDESTAL
- TRSF = TRANSFORMER
- WSS = WOOD STAKE SET IN FIELD



Edward L. Killough

EDWARD L. KILLOUGH L-1519
P.O. BOX 369
INDIAN TRAIL, NC 28079
TELEPHONE NO. 704 821-7111

DATE: 7/26/21

Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600, ALPHARETTA, GA 30009
PHONE: 770-825-0744 WWW.KIMLEY-HORN.COM

Drawn by: EK Check by: EK Approved by: EK Date: 7/26/21

PARCEL ID # 00006478
PIN # 859600471781
ADULT & TEEN CHALLENGE of
SANDHILLS, NORTH CAROLINA
D.B. 5101 PG. 332

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ADULT & TEEN CHALLENGE of
SANDHILLS, NORTH CAROLINA
D.B. 5101 PG. 332

POC
MAG NAIL SET
CENTER OF INTERSECTION
NCSPC NAD83 (2011)
NORTH 567,311.64'
EAST 1,844,832.73'

PIN # 859600473055
CHARLES STEVE CADDELL
D.B. 1482 PG. 384

GRAPHIC SCALE



(IN FEET)
1 inch = 80 ft.

REVISIONS

No.	DATE	DESCRIPTION	BY	CHK	APP'D
0	7/26/21	MOVED TOWER and LESSEE PREMISES and ISSUED AS FINAL	EK	EK	EK
A	5/23/20	ISSUED FOR REVIEW	EK	EK	EK

SITE SURVEY

PROPOSED TOWER

DRAWING No. SHEET 2 OF 3 REV 0



Cellco Partnership d/b/a Verizon Wireless

CENTER OF
PROPOSED TOWER
LAT = 35°18'30.4" N
LONG = 79°21'19.1" W
GROUND ELEVATION = 372.2' NAVD 88
IRON PIN SET ELEVATION = 372.21'

LINETYPE LEGEND

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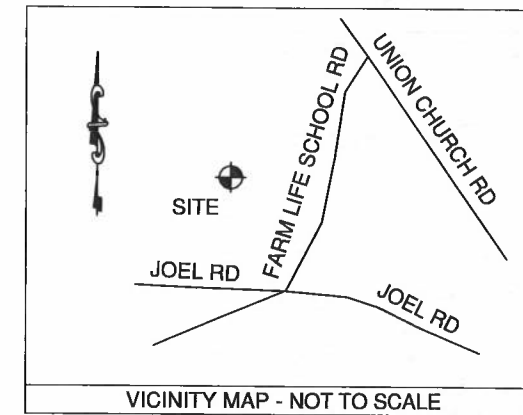
LEGEND

- = CALCULATED POINT
- B = BUILDING
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- R/W = RIGHT OF WAY
- TP = TELEPHONE PEDESTAL
- TRSF = TRANSFORMER
- WSS = WOOD STAKE SET IN FIELD



Edward L. Killough
EDWARD L. KILLOUGH L-1519 DATE: 7/26/21
P.O. BOX 369
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PARCEL ID # 00006478
PIN # 859600471781
ADULT & TEEN CHALLENGE of
SANDHILLS, NORTH CAROLINA
D.B. 5101 PG. 332



VICINITY MAP - NOT TO SCALE

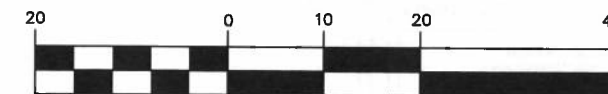
CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD LENGTH
C1	120.50'	112.96'	N 70°18'31" W	108.87'
C2	170.00'	107.50'	N 61°34'06" W	105.72'
C3	215.00'	83.11'	N 68°36'35" W	82.60'
C4	185.00'	30.93'	N 62°19'31" W	30.90'
C5	215.00'	36.12'	S 62°20'51" E	36.07'
C6	185.00'	71.52'	S 68°36'35" E	71.07'
C7	200.00'	126.47'	S 61°34'06" E	124.38'
C8	90.50'	84.84'	S 70°18'31" E	81.77'

LINE TABLE

LINE	BEARING	LENGTH
L1	S 82°50'07" W	32.29'
L2	N 43°27'08" W	16.15'
L3	N 79°41'04" W	64.36'
L4	N 57°32'07" W	71.42'
L5	N 02°45'00" W	12.27'
L6	N 66°11'06" W	27.95'
L7	S 87°15'00" W	75.00'
L8	N 02°45'00" E	32.52'
L9	N 40°27'18" E	22.67'
L10	S 57°32'07" E	71.42'
L11	S 79°41'04" E	64.36'
L12	S 43°27'08" E	16.15'
L13	N 82°50'07" E	30.67'
L14	S 87°15'00" W	100.00'
L15	N 02°45'00" W	100.00'
L16	N 87°15'00" E	75.00'
L17	S 66°11'06" E	27.95'
L18	S 02°45'00" E	87.50'

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

LESSEE
PREMISES
AREA = 9,844 SQ. FT.

L18 TOTAL

TIE LINE
N81°00'23"W 825.87'
(SEE SHEET 1)

POB IPS
NCSPC NAD83 (2011)
NORTH 567,324.60'
EAST 1,894,056.35'

Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600, ALPHARETTA, GA 30009
PHONE: 770-825-0744 WWW.KIMLEY-HORN.COM

SWALLOWTAIL
FARM LIFE SCHOOL ROAD
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Cellco Partnership d/b/a Verizon Wireless

REVISIONS

No.	DATE	DESCRIPTION	BY	CHK	APP'D
A1	7/26/21	MOVED TOWER and LESSEE PREMISES and ISSUED AS FINAL	EK	EK	EK
A	5/23/20	ISSUED FOR REVIEW	EK	EK	EK

SITE SURVEY

PROPOSED TOWER

DRAWING No. SHEET 3 OF 3 REV 0

K:\ITL_Wireless\000_Verizon\2020_Sites\Swallowtail\CAD\GB\ECor-GB.dwg 10/11/21 5:19 PM by: William.Bridger

1.00 GENERAL NOTES

- 1.01 ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND OR REGULATIONS APPLICABLE TO THIS PROJECT.
- 1.02 THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE PROJECT MANAGER AND/OR ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH WORK. WHERE THERE IS A CONFLICT BETWEEN DRAWING AND VERIZON SPECIFICATIONS, THE VERIZON PROJECT ENGINEER SHOULD BE CONTACTED FOR CLARIFICATION.
- 1.03 ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE PROJECT MANAGER AND/OR ENGINEER SO THAT PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE PROJECT MANAGER AND/OR ENGINEER.
- 1.04 CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH SITE CONDITIONS AS SHOWN ON THE ATTACHED SITE PLAN AND/OR SURVEY DRAWINGS.
- 1.05 WAVEGUIDE BRIDGE AND EQUIPMENT CABINETS ARE SHOWN FOR REFERENCE ONLY. REFER TO SEPARATE DRAWINGS FOR SPECIFIC INFORMATION.
- 1.06 ALL FINISHED GRADES SHALL SLOPE MINIMUM 1/4 IN./FT. AWAY FROM EQUIPMENT IN ALL DIRECTIONS. CONTRACTOR SHALL SLOPE SWALES AS REQUIRED ALONG EXISTING TERRAIN TO DRAIN AWAY FROM COMPOUND AND ACCESS DRIVE.
- 1.07 THE PROPOSED TOWER AND TOWER FOUNDATIONS WERE DESIGNED BY OTHERS. TOWER INFORMATION PROVIDED ON THESE PLANS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. NOTIFY ENGINEER OR PROJECT MANAGER OF ANY CONFLICTS OR DISCREPANCIES. CONTRACTOR TO OBTAIN COPY OF TOWER DESIGN DRAWINGS, IF AVAILABLE, FROM VERIZON PROJECT MANAGER TO CONFIRM COAX ROUTING AND ANTENNA MOUNT INFORMATION.
- 1.08 THE CONTRACTOR SHALL PROVIDE ADEQUATE EXCAVATION SLOPING, SHORING, BRACING, AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES.
- 1.09 UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING ACCESS ROAD AND COMPOUND GRAVEL AREAS. ANY NEW FILL MATERIALS SHALL BE COMPACTED.
- 1.10 THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND SHALL REQUEST A VERIFICATION AT THE CONSTRUCTION SITE OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES AND WHERE THEY MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF IMPROVEMENTS AS SHOWN ON THESE PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT WILL BE REQUIRED TO NOTIFY "NORTH CAROLINA 811" 48 HOURS IN ADVANCE OF PERFORMING ANY WORK BY CALLING THE TOLL FREE NUMBER (800) 632-4949 (OR 811). ANY UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER.
- 1.11 CONTRACTOR TO PROVIDE DUMPSTER AND PORTABLE TOILET FACILITY DURING CONSTRUCTION.
- 1.12 CONTRACTOR TO PROVIDE STYMIE LOCK OR EQUIVALENT AS APPROVED BY VERIZON PROJECT MANAGER.
- 1.13 CONTRACTOR TO PROVIDE ANY NECESSARY SIGNAGE PER VERIZON PROJECT MANAGER'S INSTRUCTIONS. SEE DETAIL ON SHEET C11.

2.00 EQUIPMENT FOUNDATION NOTES

- 2.01 FOUNDATIONS ARE DESIGNED FOR A PRESUMPTIVE ALLOWABLE SOIL BEARING CAPACITY OF 2,000 PSF. CONTRACTOR SHALL VERIFY SOIL CONDITIONS AND BEARING CAPACITY PRIOR TO CONSTRUCTION.
- 2.02 EXCAVATE A MINIMUM 18" BELOW PROPOSED EQUIPMENT FOUNDATIONS OF EXPANSIVE, ORGANIC, UNCONSOLIDATED OR OTHERWISE UNACCEPTABLE MATERIAL AND REPLACE WITH WELL-COMPACTED MATERIAL ACCEPTABLE TO VERIZON.
- 2.03 CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, PROTECTING, AND RELOCATING AS REQUIRED ALL SERVICE AND UTILITY LINES IN VICINITY OF THE WORK SITE. ALL EXCAVATIONS NEAR THESE LINES TO BE CARRIED OUT WITH EXTREME CAUTION. COORDINATE ALL RELOCATIONS WITH THE PROPERTY OWNER.
- 2.04 CONTRACTOR TO CUT/FILL EXISTING COMPOUND SUBSOIL TO PROVIDE AN AREA AS LEVEL AS POSSIBLE FOR THE EQUIPMENT FOUNDATIONS. ALL FILL AREAS ARE TO BE FILLED WITH SUITABLE MATERIALS. FILL MATERIALS ARE TO BE PLACED, COMPACTED, AND TESTED IN MAXIMUM LAYERS OF 8". COMPACTION OF ALL FILL MATERIAL SHALL ACHIEVE 95 PERCENT OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D 698. ALL TESTS MUST MEET THE MINIMUM SPECIFIED SOIL BEARING CAPACITY. COMPACTION TESTING IS BY THE GEOTECHNICAL TESTING COMPANY DESIGNATED FOR THE PROJECT. SCHEDULING AND COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. REPORTS OF ALL TESTING ARE TO BE PROMPTLY DELIVERED OR FAXED TO THE VERIZON WIRELESS PROJECT MANAGER.
- 2.05 CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION TO ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- 2.06 CONCRETE SHALL HAVE A SLUMP BETWEEN 3" AND 6".
- 2.07 FIBERS FOR CONCRETE SHALL BE FIBERMESH 650, 100 PERCENT VIRGIN POLYPROPYLENE FIBRILLATED FIBERS, e3 PATENTED TECHNOLOGY PATENTED TECHNOLOGY, CONTAINING NO REPROCESSED OLEFIN MATERIALS. THE FIBERS SHALL CONFORM TO ASTM C1116 TYPE III AND MANUFACTURED SPECIFICALLY FOR THE SECONDARY REINFORCEMENT OF CONCRETE.
- 2.08 THE FIBERS SHALL BE MANUFACTURED IN AN ISO 9001:2008 CERTIFIED MANUFACTURING FACILITY. UNLESS OTHERWISE STATED, FIBERMESH 650 MACRO-SYNTHETIC FIBERS SHALL BE ADDED TO THE CONCRETE AT THE BATCHING PLANT AT THE RECOMMENDED APPLICATION RATE OF 3 LBS/YD³ AND MIXED FOR A SUFFICIENT TIME (MINIMUM 5 MINUTES AT FULL MIXING SPEED) TO ENSURE UNIFORM DISTRIBUTION OF THE FIBERS THROUGHOUT THE CONCRETE. FIBROUS CONCRETE REINFORCEMENT SHALL BE MANUFACTURED BY FIBERMESH, 4019 INDUSTRY DRIVE, CHATTANOOGA, TN 37416 USA, TEL: 800 621-1273, WEBSITE: WWW.FIBERMESH.COM
- 2.09 AT THE REQUEST OF THE VERIZON WIRELESS PROJECT MANAGER, TEST CYLINDERS SHALL BE MOLDED AND LABORATORY CURED IN ACCORDANCE WITH ASTM C31. THREE CYLINDERS SHALL BE TAKEN FOR EACH DAY'S CONCRETE PLACEMENT. CYLINDERS SHALL BE TESTED IN ACCORDANCE WITH THE LATEST REVISION TO ASTM C39.
- 2.10 CHAMFER ALL EXPOSED EXTERNAL CORNERS OF CONCRETE WITH 3/4" x 45° CHAMFER, UNLESS OTHERWISE NOTED.
- 2.11 CONCRETE FORMWORK IS TO BE STRIPPED WITHIN 48 HOURS. VIBRATION OF THE CONCRETE MUST ASSURE THAT HONEYCOMBING WILL BE AT A MINIMUM. MECHANICAL VIBRATION OF ALL CONCRETE IS REQUIRED UNLESS OTHERWISE DIRECTED BY VERIZON WIRELESS' PROJECT MANAGER. ABOVE GRADE CONCRETE IS TO BE RUBBED AND PATCHED TO ASSURE SMOOTH FINISH AT TIME OF FORMS REMOVAL. CONTRACTOR SHALL PROVIDE A BROOM FINISH ON THE TOP SURFACE OF THE EQUIPMENT FOUNDATION UNLESS OTHERWISE DIRECTED BY VERIZON WIRELESS' PROJECT MANAGER.
- 2.12 TOPS OF CONCRETE FOUNDATION MUST BE WITHIN 0.02' OF ELEVATION REQUIRED.
- 2.13 TOP OF FOUNDATION FINISH TO BE LEVEL ±1/8" IN 10'.
- 2.14 TOP OF FOUNDATION TO HAVE MEDIUM BROOM FINISH.
- 2.15 CONTRACTOR SHALL REFER TO DRAWINGS OF OTHER TRADES AND VENDOR DRAWINGS FOR EMBEDDED ITEMS AND RECESSES NOT SHOWN ON THE STRUCTURAL DRAWINGS. CONTRACTOR SHALL VERIFY PLACEMENT OF EQUIPMENT AND LOCATION OF CONDUIT FOR MANUFACTURER'S AND VENDORS SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL OPENINGS AND SLEEVES FOR PROPER DISTRIBUTION OF ALL UTILITIES.



6821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

PLANS PREPARED BY:

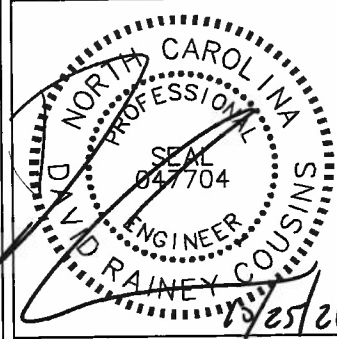


11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM
NC License F-0102

REV: DATE: ISSUED FOR: BY:

8			
7			
6			
5			
4			
3			
2			
1	10/11/21	CONSTRUCTION	DRC
0	09/07/21	CONSTRUCTION	DRC

LICENSER:



KHA PROJECT NUMBER:

013509278

DRAWN BY: CHECKED BY:

JAR

DMF

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

N1

K:\ATL_Wireless\000_Verizon\2020 Sites\Swallowtail\CAD\08\ECor-GB.dwg 03/09/22 4:45 PM by: christopher.strange

TOWER SETBACKS TO PROPERTY LINES (FROM TOWER CENTER)	
NORTH	849'-5"
SOUTH	256'-2"
NORTHEAST	722'-6"
SOUTHWEST	463'-10"

PIN: 859600279488
BRADY VENTURES, LLC
DB: 4273, PG: 325

PIN: 859700104294
MARGARET ANNE MCNEILL, LLC
DB: 2971, PG: 475

PARCEL ID #00006478
PIN: 859600471781
ADULT & TEEN CHALLENGE OF
SANDHILLS, NORTH CAROLINA
DB: 5101, PG: 332

PIN: 859600473055
CHARLES STEVE CADDELL
DB: 1482, PG: 384

EXISTING LAKE

EXISTING
BUILDING
(TYP.)

EXISTING POND

PROPOSED 195' MONOPOLE TOWER
WITH LESSEE 190' RAD CENTER
(199' TO HIGHEST APPURTENANCE)

PROPOSED 45' RADIUS
ENGINEERED TOWER
FALL ZONE "NO BUILD ZONE"

PROPOSED LESSEE
100' X 100' PREMISES
(±9,844 SQ. FT.)

PROPOSED 50' X 50' CHAIN
LINK FENCED COMPOUND
W/ 3 STRANDS OF BARBED
WIRE (8' MIN. HEIGHT)

PROPOSED 16' WIDE
CATTLE GATE WITH
KNOX BOX AND TOWER
ADDRESS SIGNAGE

EXISTING PAVED ROAD TO BE
UTILIZED BY LESSEE AND
IMPROVED AS NECESSARY

EXISTING POND



SURVEY NOTE:

1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY EDWARD L. KILLOUGH DATED 07/26/21 AND SITE VISIT ON 05/19/20.

1
C1 OVERALL SITE PLAN
SCALE: 1" = 150'

verizon

8921 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

PLANS PREPARED BY:

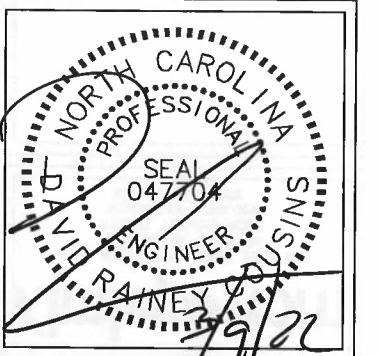
Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM
NC License F-0102

REV: DATE: ISSUED FOR: BY:

8			
7			
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5			
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3	03/07/22	CONSTRUCTION	DRC
2	12/13/21	CONSTRUCTION	DRC
1	10/11/21	CONSTRUCTION	DRC
0	09/07/21	CONSTRUCTION	DRC

LICENSER:



KHA PROJECT NUMBER:

013509278

DRAWN BY: CHECKED BY:

JAR

DMF

SHEET TITLE:

**OVERALL SITE
PLAN**

SHEET NUMBER:

C1

COMMUNITY MEETING REPORT
Monday, March 14, 2022, 1:00 p.m. – 2:00 p.m.
Proposed Wireless Communications Facility – Farm Life School Rd.

Community Members Present:

Steven Caddell, Mary W. McNeill

Applicant's Representative Present:

Victoria Farmer, David Best, Russell Cambria

Planning Staff Present:

Jaimie Walters

Ms. Farmer, Mr. Best and Mr. Cambria were available to answer questions as they were asked. Mr. Steven Caddell asked about health concerns and impact on property values. Ms. Farmer assured Mr. Caddell that there were no more health impacts from the proposed tower than from a wi-fi router in his own home. Mr. Best also told Mr. Caddell that the property values are likely to benefit rather than suffer. Ms. Farmer indicated that she would have an appraisal study done for the area to show property value impacts. Mr. Caddell also asked if there would be new power poles installed to run electricity from the tower. Mr. Best and Ms. Farmer indicated that if any were added, it would be minimal and that utilities will be run underground as much as possible.

Mrs. McNeill was at the meeting to represent her son, Mr. John McNeill, who is an adjacent property owner but couldn't make the meeting. She asked about the location of the nearest tower to the proposed site. Mr. Best was not able to give a certain answer for that but did show Mrs. McNeill the search area that was done for this site and that nothing was located within it and around it. Mrs. McNeill also asked about the elevation of the proposed site above sea level. Mr. Best told her it was 372.2' above sea level.

List of those notified of the Community Meeting (certified mailings to adjacent properties):

LATIMER DILLAN HUNTER & LATIMER JENNA LEAH	ADULT & TEEN CHALLENGE OF SANDHILLS	LYERLY LAWRENCE JR & LYERLY ELIZABETH C
BRADY VENTURES LLC	MCNEILL JOHN WOODWARD MCNEILL CARYN COPPEGE	CADDELL CHARLES STEVE CADDELL DREMA

Attachments:

- Site plan presented at the Community Meeting

Submitted by,

Jaimie Walters, MPA, CZO

Senior Planner – Moore County Planning and Inspections

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8921 RESEARCH DRIVE
CHARLOTTE, NC 28262

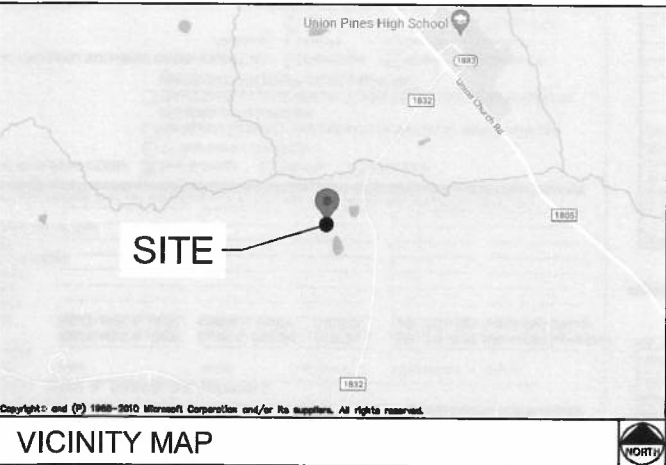
SWALLOWTAIL
SITE ADDRESS (E-911 TBD)

452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY
LATITUDE: 35° 18' 30.40" N
LONGITUDE: 79° 21' 19.10" W
PARCEL ID: 00006478
TAX/PIN #: 859600471781
ZONING: RA
PROPOSED REZONING: RACZ

- A. EXISTING PROPERTY SQUARE FOOTAGE: 1,233,140 SQUARE FEET
B. EXISTING PROPERTY IMPERVIOUS SURFACES AREA: 46,750 SQUARE FEET
C. EXISTING BUILT UPON AREA: 3.79%
D. PROPOSED IMPERVIOUS SURFACED: 4,597 SQUARE FEET
E. PROPOSED BUILT UPON AREA: 4.16% (0.37% INCREASE)

MOORE COUNTY SHERIFF
302 S McNEIL ST
CARTHAGE, NC 28327
PHONE: (910) 947-2931
ATTN.: CUSTOMER SERVICE

CARTHAGE FIRE DEPARTMENT
4396 US-501
CARTHAGE, NC 28327
PHONE: (910) 947-2226
ATTN.: CUSTOMER SERVICE



FROM CHARLOTTE OFFICE: TAKE RESEARCH DR TO W.W.T. HARRIS BLVD (1.2MI); FOLLOW I-485 INNER AND NC-24 E/NC-27 E TO UNION CHURCH RD IN CARTHAGE (93.6MI); CONTINUE ON UNION CHURCH RD. DRIVE TO FARM LIFE SCHOOL RD (4.2MI); SLIGHT RIGHT ONTO UNION CHURCH RD (3.6MI) TURN RIGHT ONTO FARM LIFE SCHOOL RD (0.6MI) DESTINATION WILL BE ON YOUR RIGHT

DRIVING DIRECTIONS

JURISDICTION:
MOORE COUNTY

STATE:
NORTH CAROLINA

TOWER TYPE:
MONOPOLE TOWER

TOWER HEIGHT:
195' (199' TO HIGHEST APPURTENANCE)

NUMBER OF CARRIERS:
0 EXISTING, 1 PROPOSED

USE:
PROPOSED TELECOMMUNICATIONS TOWER
AND UNMANNED EQUIPMENT

FLOOD INFO
SITE IS LOCATED WITHIN FEMA FLOOD MAP
AREA 3710858600J DATED 10/17/2006 WITHIN
FLOOD ZONE X.

PROJECT SUMMARY

DEVELOPER
VERIZON WIRELESS
8921 RESEARCH DRIVE
CHARLOTTE, NC 28262
PHONE: (704) 577-8785
ATTN: MICHAEL HAVEN

POWER COMPANY
CENTRAL ELECTRIC MEMBERSHIP CORP.
PHONE: (800) 774-4900
ATTN.: CUSTOMER SERVICE

PROPERTY OWNER
ADULT & TEEN CHALLENGE OF SANDHILLS
PO BOX 1701
SOUTHERN PINES, NC 28388
PHONE: (910) 947-2944
ATTN.: SAL DIBIANCA

CONSULTANT
KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GEORGIA 30009
PHONE: (770) 545-6105
ATTN.: DAVID FRANKLIN

CONTACTS

SHEET NO.	SHEET TITLE
T1	COVER SHEET
T2	APPENDIX B - BUILDING CODE SUMMARY
--	SURVEY SHEET (1 OF 3)
--	SURVEY SHEET (2 OF 3)
--	SURVEY SHEET (3 OF 3)
N1	GENERAL NOTES
C0	OVERALL AERIAL PLAN
C1	OVERALL SITE PLAN
C2	SITE PLAN
C3	EQUIPMENT PAD LAYOUT
C4	EQUIPMENT RACK DETAIL - FRONT
C5	EQUIPMENT RACK DETAIL - REAR
C6	CONCRETE PAD FOUNDATION DETAILS
C7	FENCE, GATE, AND COMPOUND DETAILS
C7.1	CATTLE GATE DETAIL
C8	GRADING AND EROSION CONTROL PLAN
C9	GRADING AND EROSION CONTROL DETAILS
C10	ACCESS ROAD DETAILS
C11	SITE SIGNAGE DETAILS
C12	WAVEGUIDE BRIDGE DETAILS
C13	ANTENNA AND TOWER ELEVATION DETAILS
M1	MECHANICAL PLAN & NOTES
E1	ELECTRICAL NOTES
E2	UTILITY SERVICE ROUTING PLAN
E3	OVERALL UTILITY ROUTING PLAN
E4	METER RACK DETAILS
E5	ELECTRICAL SINGLE LINE DIAGRAM
E6	PANEL SCHEDULE
E7	ELECTRICAL DETAILS
E8	GROUNDING NOTES
E9	GROUNDING PLAN
E10	GROUNDING SINGLE LINE DIAGRAM
E11	GROUNDING DETAILS
E12	GROUNDING DETAILS

SHEET INDEX

MOORE COUNTY PLANNING & ZONING
1048 CARRIAGE OAKS DRIVE
CARTHAGE, NC 28327
PHONE: (910) 947-2221
ATTN.: CHARLES HILL

PERMIT INFORMATION



8921 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

PLANS PREPARED BY:

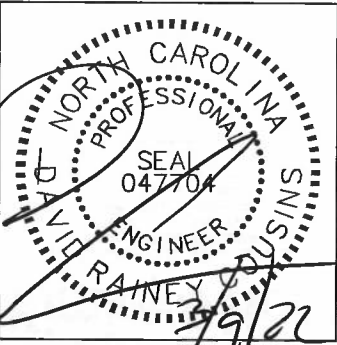


11720 AMBER PARK DRIVE, SUITE 600
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1	10/11/21	CONSTRUCTION	DRC
0	09/07/21	CONSTRUCTION	DRC

LICENSER:



KHA PROJECT NUMBER:

013509278

DRAWN BY: CHECKED BY:

JAR DMF

SHEET TITLE:

COVER SHEET

SHEET NUMBER:

T1

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: **VERIZON WIRELESS - SWALLOWTAIL**
Address: **452 FARM LIFE SCHOOL RD, CARTHAGE, NC** Zip Code: **28327**
Owner/Authorized Agent: **DAVID COUSINS** Phone # (**770**) **545 - 6105** E-Mail: **david.cousins@kimley-horn.com**
Owned By: ☐ City/County ☒ Private ☐ State ☐ Other
Code Enforcement Jurisdiction: ☐ City ☒ County **MOORE** ☐ State

CONTACT: **DAVID R. COUSINS, P.E. (#047704)**

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	KIMLEY-HORN & ASSOC.	DAVID R. COUSINS	047704	(678) 274-5032	david.cousins@kimley-horn.com
Civil	KIMLEY-HORN & ASSOC.	COBBIN C. HARRY	040828	(818) 877-2000	coffin.harry@kimley-horn.com
Electrical					
Fire Alarm					
Plumbing					
Mechanical					
Sprinkler-Standpipe					
Structural					
Retaining Walls >5' High					
Other					

(*Other* should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE: ☒ New Building ☐ Addition ☐ Renovation
☐ 1st Time Interior Completion
☐ Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements
☐ Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE: EXISTING: ☐ Prescriptive ☐ Repair ☐ Chapter 14
Alteration: ☐ Level I ☐ Level II ☐ Level III ☐ Level IV
☐ Historic Property ☐ Change of Use

CONSTRUCTED: (date) _____ CURRENT OCCUPANCY(S) (Ch. 3): **TELECOMMUNICATIONS SITE**
RENOVATED: (date) _____ PROPOSED OCCUPANCY(S) (Ch. 3): **TELECOMMUNICATIONS SITE**

RISK CATEGORY (Table 1604.5): Current: ☐ I ☐ II ☐ III ☐ IV
Proposed: ☐ I ☐ II ☐ III ☐ IV

BASIC BUILDING DATA
Construction Type: ☐ I-A ☐ II-A ☐ III-A ☐ IV ☐ V-A
☐ I-B ☐ II-B ☐ III-B ☐ V-B
(check all that apply)
Sprinklers: ☐ No ☐ Partial ☐ Yes ☐ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D
Standpipes: ☐ No ☐ Yes Class ☐ I ☐ II ☐ III ☐ Wet ☐ Dry
Fire District: ☐ No ☐ Yes ☐ Flood Hazard Area: ☐ No ☐ Yes
Special Inspections Required: ☐ No ☐ Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
3 rd Floor			
2 nd Floor			
Mezzanine			
1 st Floor			
Basement			
TOTAL			

Primary Occupancy Classification(s): Select one Select one Select one Select one Select one Select one
Assembly ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
Business ☐ B-1 ☐ B-2 ☐ B-3 ☐ B-4
Educational ☐ E-1 ☐ E-2 ☐ E-3 ☐ E-4
Factory ☐ F-1 Moderate ☐ F-2 Low
Hazardous ☐ H-1 Detonate ☐ H-2 Deflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM
Institutional ☐ I-1 Condition ☐ I-2 Condition ☐ I-3 Condition ☐ I-4
☐ I-4
Mercantile ☐ M-1 ☐ M-2 ☐ M-3 ☐ M-4
Residential ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
Storage ☐ S-1 Moderate ☐ S-2 Low ☐ High-piled
☐ Parking Garage ☐ Open ☐ Enclosed ☐ Repair Garage
Utility and Miscellaneous ☐ U-1 ☐ U-2 ☐ U-3 ☐ U-4

Accessory Occupancy Classification(s):
Incidental Uses (Table 509):
Special Uses (Chapter 4 - List Code Sections):
Special Provisions: (Chapter 5 - List Code Sections):
Mixed Occupancy: ☐ No ☐ Yes Separation: _____ Hr. Exception: _____

☐ Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
☐ Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

Actual Area of Occupancy A + Actual Area of Occupancy B
Allowable Area of Occupancy A Allowable Area of Occupancy B ≤ 1

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 ⁴ AREA	(C) AREA FOR FRONTAGE INCREASE ^{1,5}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ³

¹ Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)
b. Total Building Perimeter = _____ (P)
c. Ratio (F/P) = _____ (F/P)
d. W = Minimum width of public way = _____ (W)
e. Percent of frontage increase $I_f = 100(F/P - 0.25) \times W/30 = ______ (\%)$
² Unlimited area applicable under conditions of Section 507.
³ Maximum Building Area = total number of stories in the building x D (maximum stories) (506.2).
⁴ The maximum area of open parking garages must comply with Table 406.4.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
⁵ Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.5)			
Building Height in Stories (Table 504.4)			

Provide code reference for "Shown on Plans" quantity if not based on Table 504.3 or 504.4.

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING		DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
		REQ'D	PROVIDED (W/ REDUCTION)				
Structural Frame, including columns, girders, trusses		N/A					
Bearing Walls			2				
Exterior			2				
North	N/A		2				
East	N/A		2				
West	N/A		2				
South	N/A						
Interior		N/A					
Nonbearing Walls and Partitions			N/A				
Exterior walls		N/A					
North	N/A						
East	N/A						
West	N/A						
South	N/A						
Interior walls and partitions		N/A					
Floor Construction			2				
Including supporting beams and joists							
Floor Ceiling Assembly			2				
Columns Supporting Floors		N/A					
Roof Construction, including supporting beams and joists		N/A					
Roof Ceiling Assembly		N/A					
Columns Supporting Roof		N/A					
Shaft Enclosures - Exit		N/A					
Shaft Enclosures - Other		N/A					
Corridor Separation		N/A					
Occupancy/Use Barrier Separation		N/A					
Party/Fire Wall Separation		N/A					
Smoke Barrier Separation		N/A					
Smoke Partition		N/A					
Tenant/Dwelling Unit/Sleeping Unit Separation		N/A					
Incidental Use Separation		N/A					

* Indicate section number permitting reduction

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)

LIFE SAFETY SYSTEM REQUIREMENTS
Emergency Lighting: ☐ No ☒ Yes
Exit Signs: ☐ No ☒ Yes
Fire Alarm: ☐ No ☒ Yes
Smoke Detection Systems: ☐ No ☒ Yes ☐ Partial
Carbon Monoxide Detection: ☒ No ☐ Yes

LIFE SAFETY PLAN REQUIREMENTS
Life Safety Plan Sheet #: _____
☐ Fire and/or smoke rated wall locations (Chapter 7)
☐ Assumed and real property line locations (if not on the site plan)
☐ Exterior wall opening area with respect to distance to assumed property lines (705.8)
☐ Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
☐ Occupant loads for each area
☐ Exit access travel distances (1017)
☐ Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
☐ Dead end lengths (1020.4)
☐ Clear exit widths for each exit door
☐ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
☐ Actual occupant load for each exit door
☐ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
☐ Location of doors with panic hardware (1010.1.10)
☐ Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
☐ Location of doors with electromagnetic egress locks (1010.1.9.9)
☐ Location of doors equipped with hold-open devices
☐ Location of emergency escape windows (1030)
☐ The square footage of each fire area (202)
☐ The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
☐ Note any code exceptions or table notes that may have been utilized regarding the items above

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED				TOTAL # ACCESSIBLE SPACES PROVIDED
			REGULAR WITH 5' ACCESSIBLE	132" ACCESSIBLE	8' ACCESSIBLE	8' ACCESSIBLE	
TOTAL							

USE	SPACE	WATERCLOSURES			URINALS			LAVATORIES			SHOWERS			DRINKING FOUNTAINS		
		MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX
EXIST'G																
NEW																
REQ'D																

SPECIAL APPROVALS
Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attributes required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: ☐ No ☐ Yes (The remainder of this section is not applicable)
Exempt Building: ☐ No ☐ Yes (Provide code or statutory reference): _____

Climate Zone: ☐ 3A ☐ 4A ☐ 5A
Method of Compliance: Energy Code ☐ Performance ☐ Prescriptive
ASHRAE 90.1 ☐ Performance ☐ Prescriptive
(If "Other" specify source here)

THERMAL ENVELOPE (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Skylights in each assembly: _____
U-Value of skylight: _____
total square footage of skylights in each assembly: _____

Exterior Walls (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Openings (windows or doors with glazing)
U-Value of assembly: _____
Solar heat gain coefficient: _____
projection factor: _____
Door R-Values: _____

Walls below grade (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors over unconditioned space (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors slab on grade
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Horizontal/vertical requirement: _____
slab heated: _____

NOTE: SCOPE OF WORK INCLUDES INSTALLATION OF CAST IN PLACE CONCRETE PAD, PREFABRICATED EQUIPMENT CABINETS AND GENERATOR. NO NEW BUILDING BEING CONSTRUCTED.

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
STRUCTURAL DESIGN
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:
Importance Factors: Snow (Is) 1.0
Seismic (Is) 1.0
Live Loads: Roof 93 psf
Mezzanine N/A psf
Floor 208 psf
Ground Snow Load: 102 psf
Wind Load: Basic Wind Speed 94 mph (ASCE-7)
Exposure Category N/A

NOTE: STRUCTURAL ANALYSIS COMPLETED BY TOWER OWNER. SEE ANALYSIS BY OTHERS FOR ADDITIONAL STRUCTURAL DATA.

SEISMIC DESIGN CATEGORY: ☐ A ☐ B ☐ C ☒ D
Provide the following Seismic Design Parameters:
Risk Category (Table 1604.5) ☒ I ☐ II ☐ III ☐ IV
Spectral Response Acceleration S_s 3.0 %g S_1 0.75 %g
Site Classification (ASCE 7) ☐ A ☐ B ☐ C ☒ D ☐ E ☐ F
Data Source: ☐ Field Test ☐ Presumptive ☐ Historical Data
Basic structural system: ☐ Bearing Wall ☐ Dual w/Intermediate Moment Frame
☒ Building Frame ☐ Dual w/Intermediate R/C or Special Steel
☐ Moment Frame ☐ Inverted Pendulum
Analysis Procedure: ☐ Simplified ☐ Equivalent Lateral Force ☐ Dynamic
Architectural, Mechanical, Components anchored? ☒ Yes ☐ No

LATERAL DESIGN CONTROL: Earthquake ☒ Wind ☒

SOIL BEARING CAPACITIES:
Field Test (provide copy of test report) N/A psf
Presumptive Bearing capacity 2000 psf
Pile size, type, and capacity N/A

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
MECHANICAL DESIGN
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SUMMARY
MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone
winter dry bulb: _____
summer dry bulb: _____
Interior design conditions
winter dry bulb: _____
summer dry bulb: _____
relative humidity: _____
Building heating load: _____
Building cooling load: _____
Mechanical Spacing Conditioning System
Unitary
description of unit: _____
heating efficiency: _____
cooling efficiency: _____
size category of unit: _____
Boiler
Size category. If oversized, state reason: _____
Chiller
Size category. If oversized, state reason: _____
List equipment efficiencies: _____

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
ELECTRICAL DESIGN
(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SUMMARY
ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: Energy Code ☐ Performance ☒ Prescriptive
ASHRAE 90.1 ☐ Performance ☐ Prescriptive
Lighting schedule (each fixture type)
lamp type required in fixture
number of lamps in fixture
ballast type used in the fixture
number of ballasts in fixture
total wattage per fixture
total interior wattage specified vs. allowed (whole building or space by space)
total exterior wattage specified vs. allowed

Additional Efficiency Package Options
(When using the 2018 NEC; not required for ASHRAE 90.1)
☐ C406.2 More Efficient HVAC Equipment Performance
☐ C406.3 Reduced Lighting Power Density
☐ C406.4 Enhanced Digital Lighting Controls
☐ C406.5 On-Site Renewable Energy
☐ C406.6 Dedicated Outdoor Air System
☐ C406.7 Reduced Energy Use in Service Water Heating



8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

PLANS PREPARED BY:

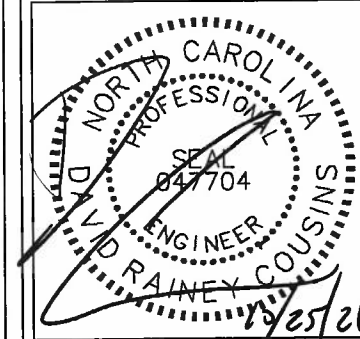
Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM
NC License F-0102

REV: _____ DATE: _____ ISSUED FOR: _____ BY: _____

8			
7			
6			
5			
4			
3			
2			
1	10/11/21	CONSTRUCTION	DRC
0	09/07/21	CONSTRUCTION	DRC

LICENSER: _____



KHA PROJECT NUMBER:

013509278

DRAWN BY: _____ CHECKED BY: _____

JAR DMF

SHEET TITLE:

APPENDIX B -
BUILDING CODE
SUMMARY

SHEET NUMBER:

T2

- NOTES
- THIS SITE SURVEY HAS BEEN PREPARED PARTIALLY FROM AN ACTUAL FIELD SURVEY AND PARTIALLY FROM MAPS AND DEEDS OF RECORD.
 - PROPERTY SUBJECT TO ANY VALID & ENFORCEABLE EASEMENTS, RESTRICTIONS & RIGHT OF WAY OF RECORD.
 - ALL PROPERTY OWNERS ARE NOW OR FORMERLY. ADJACENT OWNER INFORMATION TAKEN FROM COUNTY TAX RECORDS.
 - AREA BY COMPUTER (COORDINATE METHOD).
 - ALL DISTANCES SHOWN ARE GROUND DISTANCES UNLESS OTHERWISE NOTED.
 - NORTH ORIENTATION BASED UPON NC GRID AND WAS ESTABLISHED BY SURVEY GRADE LEICA DUAL FREQUENCY GPS RECEIVER.
 - THIS MAP IS OF LEASED PROPERTY AND DOES NOT CREATE A SUBDIVISION OF LAND.
 - THIS MAP IS FOR LEASE PURPOSES AND IS NOT A BOUNDARY SURVEY OF THE ENTIRE TRACT.
 - SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA PANEL 3710858600J WITH AN EFFECTIVE DATE OF OCTOBER 17, 2006.

LEGEND

B = BUILDING
D.B. = DEED BOOK
IPF = #5 REBAR FOUND
IPPF = IRON PIPE FOUND
IPS = #4 REBAR SET
PP = POWER POLE
P.S. = PLAT SLIDE

LINETYPE LEGEND

— = PARENT TRACT PARCEL LINES
- - - = ADJACENT PARCEL LINES
- - - = LESSEE LEASE LINES
- - - = FENCE LINES
- - - = EASEMENT LINES
- - - = UTILITY LINES

I HEREBY CERTIFY THAT THIS MAP WAS DRAWN FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION AND ACCURATELY DEPICTS THE LOCATIONS OF THIS SITE AS SURVEYED IN THE FIELD AND IS NOT INTENDED TO BE A BOUNDARY SURVEY OF THE PROPERTY SHOWN. I FURTHER CERTIFY THAT THIS MAP WAS DRAWN BY ME FROM AN ACTUAL GPS SURVEY MADE BY ME AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY

- CLASS OF SURVEY: A
- POSITIONAL ACCURACY: <0.10'
- TYPE OF GPS SURVEY PROCEDURE: NCGS NETWORK RTK USING A LEICA GS14 RECEIVER
- DATES OF SURVEY: MAY 19, 2020, JULY 26, 2021
- DATUM/EPOCH: NAD 83(NSRS2011)
- PUBLISHED/FIXED-CONTROL: VRS NETWORK
- GEOID MODEL: GEOID12B (CONUS)
- COMBINED GRID FACTOR: 0.999860
- UNITS: U.S. SURVEY FEET

Edward L. Killough
EDWARD L. KILLOUGH L-1519 DATE: 7/26/21
P.O. BOX 369
INDIAN TRAIL, NC 28079
TELEPHONE NO. 704 821-7111



PIN # 859600363180
BRANDON COLEMAN
D.B. 4210 PG. 317

PIN # 859600473055
CHARLES STEVE CADDELL
D.B. 1482 PG. 384

PIN # 859600460358
ZACHARY J. BEALL
D.B. 4746 PG. 508

PIN # 859700104294
MARGARET ANNE McNEILL, LLC
D.B. 2971 PG. 475

PARCEL ID # 00006478
PIN # 859600471781
ADULT & TEEN CHALLENGE of
SANDHILLS, NORTH CAROLINA
D.B. 5101 PG. 332

PIN # 859600279488
BRADY VENTURES, LLC
D.B. 4273 PG. 325

PROPERTY LINE
FOLLOWS
DUNHAMNS CREEK

PUBLIC RIGHT OF WAY
D.B. 277 PG. 510

FARM LIFE SCHOOL ROAD

LAKE

POND

POND

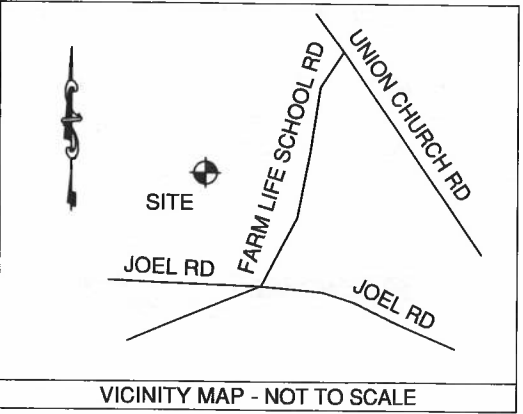
LESSEE
PREMISES
(SEE SHEETS 2 & 3)

TIE LINE
N81°00'23"W 825.87'

LESSEE
NON-EXCLUSIVE
ACCESS and UTILITY
EASEMENT
AREA = 27,634 SQ. FT.
(SEE SHEETS 2 & 3)

POC

POB

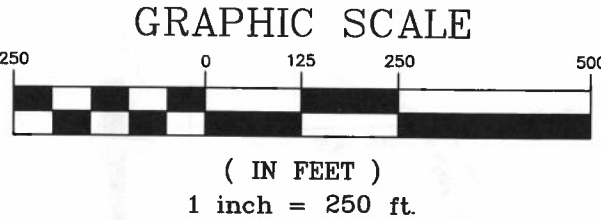


VICINITY MAP - NOT TO SCALE

NOTES ON REVIEW OF TITLE REPORT:

FIDELITY NATIONAL TITLE INSURANCE COMPANY
ISSUE DATE: 7/09/2021 FIDELITY ORDER NO. 34836064

FROM A SURVEY STANDPOINT THE ITEMS LISTED IN THE TITLE REPORT
DO NOT AFFECT THE LESSEE'S PREMISES.



Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600, ALPHARETTA, GA 30009
PHONE: 770-825-0744 WWW.KIMLEY-HORN.COM

Drawn by: EK Check by: EK Approved by: EK Date: 7/26/21

SWALLOWTAIL
FARM LIFE SCHOOL ROAD
CARTHAGE, NC 28327
MOORE COUNTY



Cellco Partnership d/b/a Verizon Wireless

REVISIONS

No.	DATE	DESCRIPTION	BY	CHK	APP'D
A1	7/26/21	MOVED TOWER and LESSEE PREMISES and ISSUED AS FINAL	EK	EK	EK
A	5/23/20	ISSUED FOR REVIEW	EK	EK	EK

SITE SURVEY

PROPOSED TOWER

DRAWING No. SHEET 1 OF 3 REV 0

CENTER OF
PROPOSED TOWER
LAT = 35°18'30.4" N
LONG = 79°21'19.1" W
GROUND ELEVATION = 372.2' NAVD 88
IRON PIN SET ELEVATION = 372.21'

LINETYPE LEGEND

- = PARENT TRACT PARCEL LINES
- - - = ADJACENT PARCEL LINES
- - - = LESSEE LEASE LINES
- - - = FENCE LINES
- - - = EASEMENT LINES
- - - = UTILITY LINES

LEGEND

- = CALCULATED POINT
- B = BUILDING
- D.B. = DEED BOOK
- EL = ELEVATION
- FOV = FIBER OPTIC VAULT
- IPF = 1/2" IRON PIN FOUND (#4 REBAR)
- IPPF = IRON PIPE FOUND
- IPS = 1/2" IRON PIN SET (#4 REBAR)
- NCSP = NC STATE PLANE
- P.B. = PLAT BOOK
- PIPPF = PINCHED IRON PIPE FOUND
- POB = POINT OF BEGINNING
- POC = POINT OF COMMENCEMENT
- POT = POINT OF TERMINUS
- PP = POWER POLE
- PP-TR = POWER POLE WITH TRSF
- R/W = RIGHT OF WAY
- TP = TELEPHONE PEDESTAL
- TRSF = TRANSFORMER
- WSS = WOOD STAKE SET IN FIELD



Edward L. Killough
EDWARD L. KILLOUGH L-1519 DATE: 7/26/21
P.O. BOX 369
INDIAN TRAIL, NC 28079
TELEPHONE NO. 704 821-7111

PARCEL ID # 00006478
PIN # 859600471781
ADULT & TEEN CHALLENGE of
SANDHILLS, NORTH CAROLINA
D.B. 5101 PG. 332

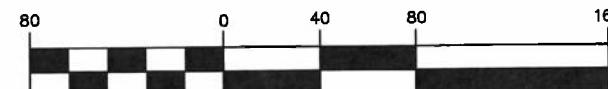
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SANDHILLS, NORTH CAROLINA
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PARCEL ID # 00006478
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ADULT & TEEN CHALLENGE of
SANDHILLS, NORTH CAROLINA
D.B. 5101 PG. 332

POC
MAG NAIL SET
CENTER OF INTERSECTION
NCSPC NAD83 (2011)
NORTH 567,311.64'
EAST 1,844,832.73'

PIN # 859600473055
CHARLES STEVE CADDELL
D.B. 1482 PG. 384

GRAPHIC SCALE



(IN FEET)
1 inch = 80 ft.

Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600, ALPHARETTA, GA 30009
PHONE: 770-825-0744 WWW.KIMLEY-HORN.COM

Drawn by: EK Check by: EK Approved by: EK Date: 7/26/21

SWALLOWTAIL
FARM LIFE SCHOOL ROAD
CARTHAGE, NC 28327
MOORE COUNTY



Cellco Partnership d/b/a Verizon Wireless

REVISIONS

No.	DATE	DESCRIPTION	BY	CHK	APP'D
0	7/26/21	MOVED TOWER and LESSEE PREMISES and ISSUED AS FINAL	EK	EK	EK
A	5/23/20	ISSUED FOR REVIEW	EK	EK	EK

SITE SURVEY

PROPOSED TOWER

DRAWING No. SHEET 2 OF 3 REV 0

CENTER OF
PROPOSED TOWER
LAT = 35°18'30.4" N
LONG = 79°21'19.1" W
GROUND ELEVATION = 372.2' NAVD 88
IRON PIN SET ELEVATION = 372.21'

LINETYPE LEGEND

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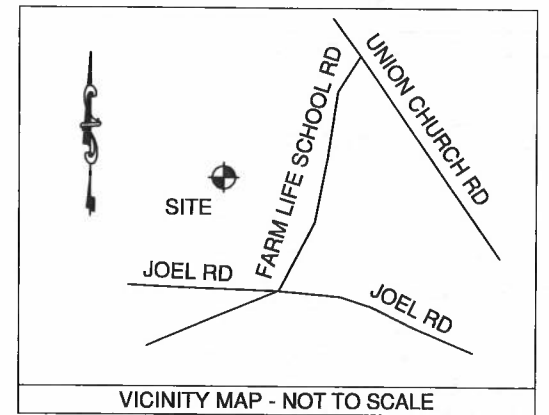
LEGEND

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- POC = POINT OF COMMENCEMENT
- POT = POINT OF TERMINUS
- PP = POWER POLE
- PP-TR = POWER POLE WITH TRSF
- R/W = RIGHT OF WAY
- TP = TELEPHONE PEDESTAL
- TRSF = TRANSFORMER
- WSS = WOOD STAKE SET IN FIELD



Edward L. Killough
EDWARD L. KILLOUGH L-1519 DATE: 7/26/21
P.O. BOX 369
INDIAN TRAIL, NC 28079
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ADULT & TEEN CHALLENGE of
SANDHILLS, NORTH CAROLINA
D.B. 5101 PG. 332



VICINITY MAP - NOT TO SCALE

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD LENGTH
C1	120.50'	112.96'	N 70°18'31" W	108.87'
C2	170.00'	107.50'	N 61°34'06" W	105.72'
C3	215.00'	83.11'	N 68°36'35" W	82.60'
C4	185.00'	30.93'	N 62°19'31" W	30.90'
C5	215.00'	36.12'	S 62°20'51" E	36.07'
C6	185.00'	71.52'	S 68°36'35" E	71.07'
C7	200.00'	126.47'	S 61°34'06" E	124.38'
C8	90.50'	84.84'	S 70°18'31" E	81.77'

LINE TABLE

LINE	BEARING	LENGTH
L1	S 82°50'07" W	32.29'
L2	N 43°27'08" W	16.15'
L3	N 79°41'04" W	64.36'
L4	N 57°32'07" W	71.42'
L5	N 02°45'00" W	12.27'
L6	N 66°11'06" W	27.95'
L7	S 87°15'00" W	75.00'
L8	N 02°45'00" E	32.52'
L9	N 40°27'18" E	22.67'
L10	S 57°32'07" E	71.42'
L11	S 79°41'04" E	64.36'
L12	S 43°27'08" E	16.15'
L13	N 82°50'07" E	30.67'
L14	S 87°15'00" W	100.00'
L15	N 02°45'00" W	100.00'
L16	N 87°15'00" E	75.00'
L17	S 66°11'06" E	27.95'
L18	S 02°45'00" E	87.50'

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

LESSEE
PREMISES
AREA = 9,844 SQ. FT.

L18 TOTAL

TIE LINE
N81°00'23"W 825.87'
(SEE SHEET 1)

POB IPS
NCSPC NAD83 (2011)
NORTH 567,324.60'
EAST 1,894,056.35'

Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600, ALPHARETTA, GA 30009
PHONE: 770-825-0744 WWW.KIMLEY-HORN.COM

SWALLOWTAIL
FARM LIFE SCHOOL ROAD
CARTHAGE, NC 28327
MOORE COUNTY



Cellco Partnership d/b/a Verizon Wireless

REVISIONS

No.	DATE	DESCRIPTION	BY	CHK	APP'D
A1	7/26/21	MOVED TOWER and LESSEE PREMISES and ISSUED AS FINAL	EK	EK	EK
A	5/23/20	ISSUED FOR REVIEW	EK	EK	EK

SITE SURVEY

PROPOSED TOWER

DRAWING No. SHEET 3 OF 3 REV 0

K:\ITL_Wireless\000_Verizon\2020_Sites\Swallowtail\CAD\GB\ECor-GB.dwg 10/11/21 5:19 PM by: William.Bridger

1.00 GENERAL NOTES

- 1.01 ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND OR REGULATIONS APPLICABLE TO THIS PROJECT.
- 1.02 THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE PROJECT MANAGER AND/OR ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH WORK. WHERE THERE IS A CONFLICT BETWEEN DRAWING AND VERIZON SPECIFICATIONS, THE VERIZON PROJECT ENGINEER SHOULD BE CONTACTED FOR CLARIFICATION.
- 1.03 ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE PROJECT MANAGER AND/OR ENGINEER SO THAT PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE PROJECT MANAGER AND/OR ENGINEER.
- 1.04 CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH SITE CONDITIONS AS SHOWN ON THE ATTACHED SITE PLAN AND/OR SURVEY DRAWINGS.
- 1.05 WAVEGUIDE BRIDGE AND EQUIPMENT CABINETS ARE SHOWN FOR REFERENCE ONLY. REFER TO SEPARATE DRAWINGS FOR SPECIFIC INFORMATION.
- 1.06 ALL FINISHED GRADES SHALL SLOPE MINIMUM 1/4 IN./FT. AWAY FROM EQUIPMENT IN ALL DIRECTIONS. CONTRACTOR SHALL SLOPE SWALES AS REQUIRED ALONG EXISTING TERRAIN TO DRAIN AWAY FROM COMPOUND AND ACCESS DRIVE.
- 1.07 THE PROPOSED TOWER AND TOWER FOUNDATIONS WERE DESIGNED BY OTHERS. TOWER INFORMATION PROVIDED ON THESE PLANS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. NOTIFY ENGINEER OR PROJECT MANAGER OF ANY CONFLICTS OR DISCREPANCIES. CONTRACTOR TO OBTAIN COPY OF TOWER DESIGN DRAWINGS, IF AVAILABLE, FROM VERIZON PROJECT MANAGER TO CONFIRM COAX ROUTING AND ANTENNA MOUNT INFORMATION.
- 1.08 THE CONTRACTOR SHALL PROVIDE ADEQUATE EXCAVATION SLOPING, SHORING, BRACING, AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES.
- 1.09 UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING ACCESS ROAD AND COMPOUND GRAVEL AREAS. ANY NEW FILL MATERIALS SHALL BE COMPACTED.
- 1.10 THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND SHALL REQUEST A VERIFICATION AT THE CONSTRUCTION SITE OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES AND WHERE THEY MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF IMPROVEMENTS AS SHOWN ON THESE PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT WILL BE REQUIRED TO NOTIFY "NORTH CAROLINA 811" 48 HOURS IN ADVANCE OF PERFORMING ANY WORK BY CALLING THE TOLL FREE NUMBER (800) 632-4949 (OR 811). ANY UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER.
- 1.11 CONTRACTOR TO PROVIDE DUMPSTER AND PORTABLE TOILET FACILITY DURING CONSTRUCTION.
- 1.12 CONTRACTOR TO PROVIDE STYMIE LOCK OR EQUIVALENT AS APPROVED BY VERIZON PROJECT MANAGER.
- 1.13 CONTRACTOR TO PROVIDE ANY NECESSARY SIGNAGE PER VERIZON PROJECT MANAGER'S INSTRUCTIONS. SEE DETAIL ON SHEET C11.

2.00 EQUIPMENT FOUNDATION NOTES

- 2.01 FOUNDATIONS ARE DESIGNED FOR A PRESUMPTIVE ALLOWABLE SOIL BEARING CAPACITY OF 2,000 PSF. CONTRACTOR SHALL VERIFY SOIL CONDITIONS AND BEARING CAPACITY PRIOR TO CONSTRUCTION.
- 2.02 EXCAVATE A MINIMUM 18" BELOW PROPOSED EQUIPMENT FOUNDATIONS OF EXPANSIVE, ORGANIC, UNCONSOLIDATED OR OTHERWISE UNACCEPTABLE MATERIAL AND REPLACE WITH WELL-COMPACTED MATERIAL ACCEPTABLE TO VERIZON.
- 2.03 CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, PROTECTING, AND RELOCATING AS REQUIRED ALL SERVICE AND UTILITY LINES IN VICINITY OF THE WORK SITE. ALL EXCAVATIONS NEAR THESE LINES TO BE CARRIED OUT WITH EXTREME CAUTION. COORDINATE ALL RELOCATIONS WITH THE PROPERTY OWNER.
- 2.04 CONTRACTOR TO CUT/FILL EXISTING COMPOUND SUBSOIL TO PROVIDE AN AREA AS LEVEL AS POSSIBLE FOR THE EQUIPMENT FOUNDATIONS. ALL FILL AREAS ARE TO BE FILLED WITH SUITABLE MATERIALS. FILL MATERIALS ARE TO BE PLACED, COMPACTED, AND TESTED IN MAXIMUM LAYERS OF 8". COMPACTION OF ALL FILL MATERIAL SHALL ACHIEVE 95 PERCENT OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D 698. ALL TESTS MUST MEET THE MINIMUM SPECIFIED SOIL BEARING CAPACITY. COMPACTION TESTING IS BY THE GEOTECHNICAL TESTING COMPANY DESIGNATED FOR THE PROJECT. SCHEDULING AND COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. REPORTS OF ALL TESTING ARE TO BE PROMPTLY DELIVERED OR FAXED TO THE VERIZON WIRELESS PROJECT MANAGER.
- 2.05 CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION TO ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- 2.06 CONCRETE SHALL HAVE A SLUMP BETWEEN 3" AND 6".
- 2.07 FIBERS FOR CONCRETE SHALL BE FIBERMESH 650, 100 PERCENT VIRGIN POLYPROPYLENE FIBRILLATED FIBERS, e3 PATENTED TECHNOLOGY PATENTED TECHNOLOGY, CONTAINING NO REPROCESSED OLEFIN MATERIALS. THE FIBERS SHALL CONFORM TO ASTM C1116 TYPE III AND MANUFACTURED SPECIFICALLY FOR THE SECONDARY REINFORCEMENT OF CONCRETE.
- 2.08 THE FIBERS SHALL BE MANUFACTURED IN AN ISO 9001:2008 CERTIFIED MANUFACTURING FACILITY. UNLESS OTHERWISE STATED, FIBERMESH 650 MACRO-SYNTHETIC FIBERS SHALL BE ADDED TO THE CONCRETE AT THE BATCHING PLANT AT THE RECOMMENDED APPLICATION RATE OF 3 LBS/YD³ AND MIXED FOR A SUFFICIENT TIME (MINIMUM 5 MINUTES AT FULL MIXING SPEED) TO ENSURE UNIFORM DISTRIBUTION OF THE FIBERS THROUGHOUT THE CONCRETE. FIBROUS CONCRETE REINFORCEMENT SHALL BE MANUFACTURED BY FIBERMESH, 4019 INDUSTRY DRIVE, CHATTANOOGA, TN 37416 USA, TEL: 800 621-1273, WEBSITE: WWW.FIBERMESH.COM
- 2.09 AT THE REQUEST OF THE VERIZON WIRELESS PROJECT MANAGER, TEST CYLINDERS SHALL BE MOLDED AND LABORATORY CURED IN ACCORDANCE WITH ASTM C31. THREE CYLINDERS SHALL BE TAKEN FOR EACH DAY'S CONCRETE PLACEMENT. CYLINDERS SHALL BE TESTED IN ACCORDANCE WITH THE LATEST REVISION TO ASTM C39.
- 2.10 CHAMFER ALL EXPOSED EXTERNAL CORNERS OF CONCRETE WITH 3/4" x 45° CHAMFER, UNLESS OTHERWISE NOTED.
- 2.11 CONCRETE FORMWORK IS TO BE STRIPPED WITHIN 48 HOURS. VIBRATION OF THE CONCRETE MUST ASSURE THAT HONEYCOMBING WILL BE AT A MINIMUM. MECHANICAL VIBRATION OF ALL CONCRETE IS REQUIRED UNLESS OTHERWISE DIRECTED BY VERIZON WIRELESS' PROJECT MANAGER. ABOVE GRADE CONCRETE IS TO BE RUBBED AND PATCHED TO ASSURE SMOOTH FINISH AT TIME OF FORMS REMOVAL. CONTRACTOR SHALL PROVIDE A BROOM FINISH ON THE TOP SURFACE OF THE EQUIPMENT FOUNDATION UNLESS OTHERWISE DIRECTED BY VERIZON WIRELESS' PROJECT MANAGER.
- 2.12 TOPS OF CONCRETE FOUNDATION MUST BE WITHIN 0.02' OF ELEVATION REQUIRED.
- 2.13 TOP OF FOUNDATION FINISH TO BE LEVEL ±1/8" IN 10'.
- 2.14 TOP OF FOUNDATION TO HAVE MEDIUM BROOM FINISH.
- 2.15 CONTRACTOR SHALL REFER TO DRAWINGS OF OTHER TRADES AND VENDOR DRAWINGS FOR EMBEDDED ITEMS AND RECESSES NOT SHOWN ON THE STRUCTURAL DRAWINGS. CONTRACTOR SHALL VERIFY PLACEMENT OF EQUIPMENT AND LOCATION OF CONDUIT FOR MANUFACTURER'S AND VENDORS SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL OPENINGS AND SLEEVES FOR PROPER DISTRIBUTION OF ALL UTILITIES.



6821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

PLANS PREPARED BY:

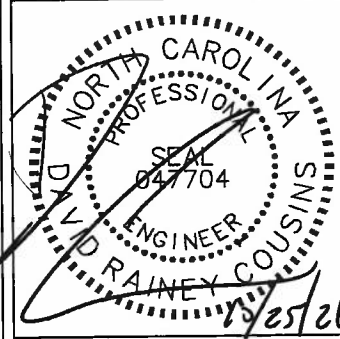


11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM
NC License F-0102

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1	10/11/21	CONSTRUCTION	DRC
0	09/07/21	CONSTRUCTION	DRC

LICENSER:



KHA PROJECT NUMBER:

013509278

DRAWN BY: CHECKED BY:

JAR

DMF

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

N1

K:\ATL_Wireless\000_Verizon\2020 Sites\Swallowtail\CAD\08\ECor-08.dwg 03/09/22 4:45 PM by: christopher.strange

TOWER SETBACKS TO PROPERTY LINES (FROM TOWER CENTER)	
NORTH	849'-5"
SOUTH	256'-2"
NORTHEAST	722'-6"
SOUTHWEST	463'-10"

PIN: 859600279488
BRADY VENTURES, LLC
DB: 4273, PG: 325

PIN: 859700104294
MARGARET ANNE MCNEILL, LLC
DB: 2971, PG: 475

PARCEL ID #00006478
PIN: 859600471781
ADULT & TEEN CHALLENGE OF
SANDHILLS, NORTH CAROLINA
DB: 5101, PG: 332

PIN: 859600473055
CHARLES STEVE CADDELL
DB: 1482, PG: 384

EXISTING LAKE

EXISTING
BUILDING
(TYP.)

EXISTING POND

PROPOSED 195' MONOPOLE TOWER
WITH LESSEE 190' RAD CENTER
(199' TO HIGHEST APPURTENANCE)

PROPOSED 45' RADIUS
ENGINEERED TOWER
FALL ZONE "NO BUILD ZONE"

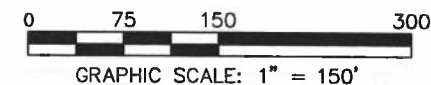
PROPOSED LESSEE
100' X 100' PREMISES
(±9,844 SQ. FT.)

PROPOSED 50' X 50' CHAIN
LINK FENCED COMPOUND
W/ 3 STRANDS OF BARBED
WIRE (8' MIN. HEIGHT)

PROPOSED 16' WIDE
CATTLE GATE WITH
KNOX BOX AND TOWER
ADDRESS SIGNAGE

EXISTING PAVED ROAD TO BE
UTILIZED BY LESSEE AND
IMPROVED AS NECESSARY

EXISTING POND



SURVEY NOTE:

1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY EDWARD L. KILLOUGH DATED 07/26/21 AND SITE VISIT ON 05/19/20.

1
C1 OVERALL SITE PLAN
SCALE: 1" = 150'

verizon

8921 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

PLANS PREPARED BY:

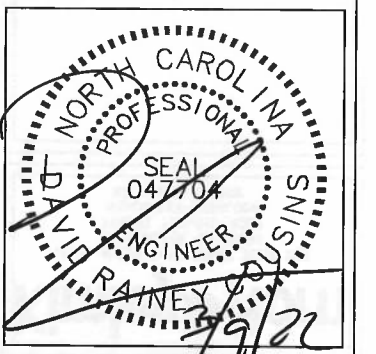
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DRAWN BY: CHECKED BY:

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SHEET TITLE:

**OVERALL SITE
PLAN**

SHEET NUMBER:

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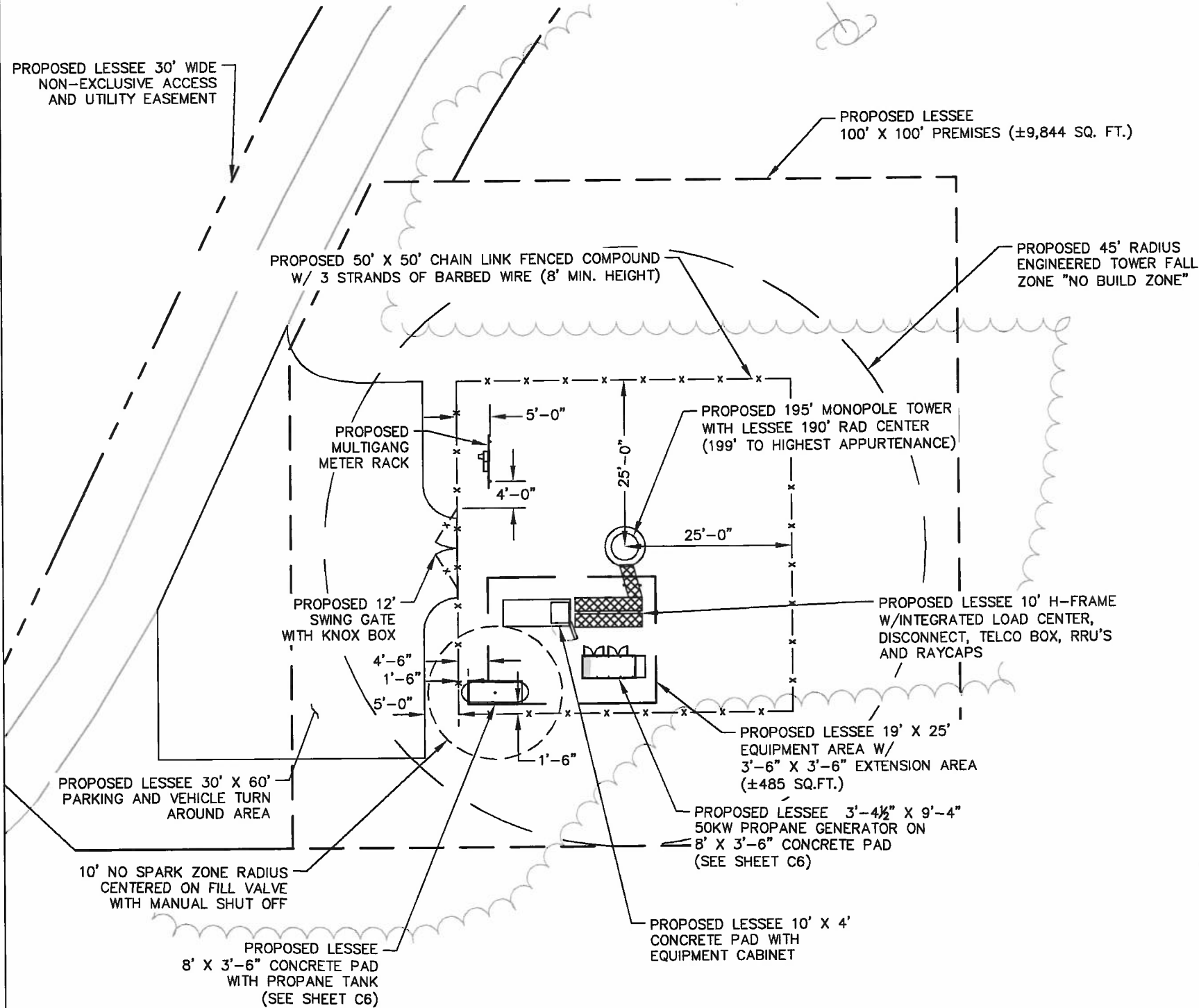
SITE NAME:
SWALLOWTAIL
SITE No.: 431713
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FARM LIFE SCHOOL RD
ARTHAGE, NC 28327
MOORE COUNTY

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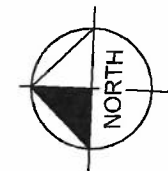
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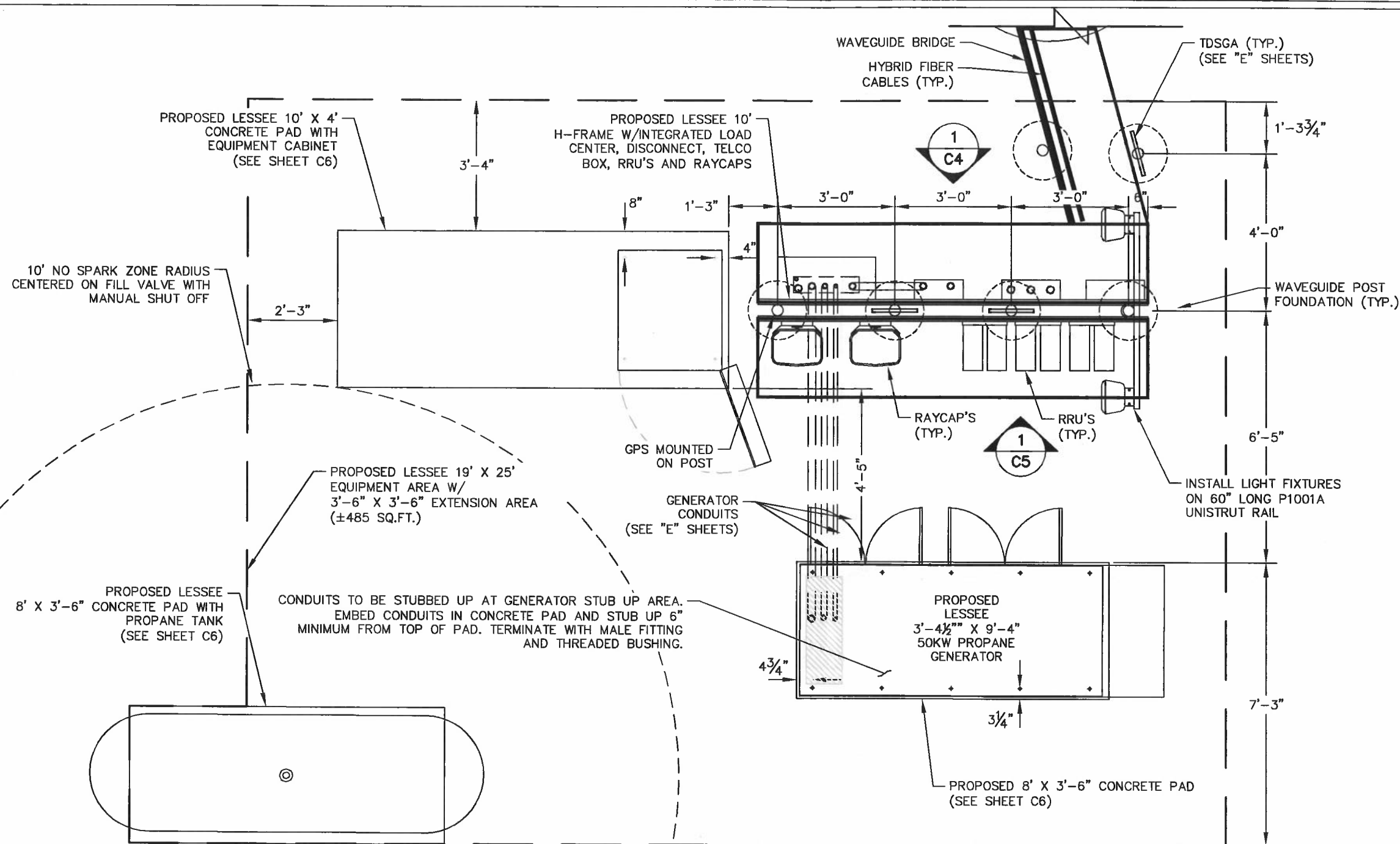
1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER AND/OR TOWER OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY EDWARD L. KILLOUGH DATED 07/26/21 AND SITE VISIT ON 07/26/21.
3. CONTRACTOR TO CONFIRM WITH VERIZON CONSTRUCTION MANAGER THAT THE SHELTER/EQUIPMENT SHOWN HAS BEEN ORDERED/SCHEDULED FOR DELIVERY TO THIS SITE.
4. THE BASIS OF EQUIPMENT DESIGN INCLUDES ONE (1) RF CABINET, ONE (1) FUTURE BATTERY CABINET, AND ONE (1) FUTURE EXPANSION CABINET.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND MODIFYING SCOPE OF WORK TO ACCOMMODATE ANY CHANGES IN THE EXACT EQUIPMENT PROCURED BY VERIZON WIRELESS. COORDINATE ANY CHANGES WITH VERIZON WIRELESS CONSTRUCTION MANAGER.
6. ROUTE COAX/FIBER UP TOWER PER STRUCTURAL ANALYSIS BY TOWER OWNER.
7. TOWER DIMENSIONS SHOWN ON THIS PLAN ARE FOR TOWER CENTER LOCATION. CONTRACTOR TO OBTAIN COPY OF TOWER ERECTION DRAWINGS FROM VERIZON CONSTRUCTION MANAGER PRIOR TO DRILLING TOWER FOUNDATIONS. CONDITIONS AND TOWER SHOWN ON THIS PLAN ARE ILLUSTRATIVE, SEE DESIGN DRAWING BY OTHERS. DO NOT SCALE.



1 SITE PLAN
C2 SCALE: 1" = 20'



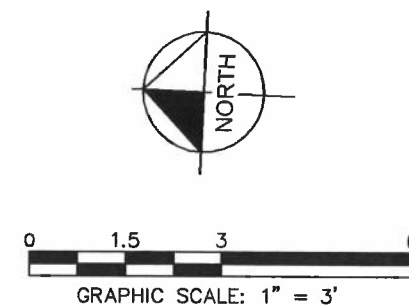
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1 EQUIPMENT PAD LAYOUT
SCALE: 1" = 3'

EQUIPMENT PAD/ROUTING NOTES:

1. REFER TO THE SITE PLAN FOR EQUIPMENT PAD LOCATION AND ORIENTATION.
2. RUN 2" FLEX TELCO CONDUIT FROM BOTTOM OF TELCO BOX TO SIDE OF RF CABINET WITH CHASE NIPPLE THROUGH FACTORY KNOCKOUT.
3. RUN (2) 2" FLEX POWER CONDUIT AND (1) 1" ALARM CONDUIT FROM BOTTOM OF ILC TO SIDE OF RF CABINET WITH CHASE NIPPLES THROUGH FACTORY KNOCKOUTS.
4. RUN 2" FLEX FIBER CONDUIT FROM BOTTOM OF OVP TO SIDE OF RF CABINET WITH CHASE NIPPLE THROUGH FACTORY KNOCKOUT.
5. RUN (1) 1 1/2" FLEX POWER CONDUIT FOR EVERY (6) RRU CIRCUITS FROM BOTTOM OF OVP TO SIDE OF RF CABINET WITH CHASE NIPPLE THROUGH FACTORY KNOCKOUT.
6. SUPPORT FLEX CONDUIT ON HORIZONTAL H-FRAME RAILS OR ON VERTICAL SITE STRUT SNT10 RAILS ADDED TO H-FRAME FOR CONDUIT/CABLE MANAGEMENT.
7. RUN HYBRID CABLE FOR TOWER MOUNTED RRU'S OVERHEAD ON TRAPEZE SUSPENDED FROM WAVE GUIDE BRIDGE. SWEEP DOWN ONTO H-FRAME RAILS, THEN LOOP UNDER OVP AND CONNECT TO BOTTOM OF OVP. ATTACH GROUND KITS TO HYBRID CABLE BEFORE LOOPING UNDER OVP, AND BOND TO TDSGA GROUND BAR AT BASE OF H-FRAME.
8. RUN COAX CABLE FOR GROUND MOUNTED RRU'S (IF USED) OVERHEAD ON TRAPEZE SUSPENDED FROM WAVE GUIDE BRIDGE. TERMINATE COAX ON ICE BRIDGE AND TRANSITION TO JUMPERS JUST BEFORE REACHING H-FRAME. ATTACH GROUND KITS TO COAX CABLE ON TOWER SIDE OF LAST ICE BRIDGE POST AND BOND TO TDSGA GROUND BAR NEAR TOP OF POST.
9. GPS ANTENNA TO BE MOUNTED TO STANDARD HEIGHT POST WITH EXTENDED MOUNTING PIPE, USING COMMSCOPE GPS-U MOUNTING KIT. MOUNT AS NEAR AS PRACTICAL TO RBA84 CABINET.
10. BOLT CABINETS AND GENERATOR TO SLAB USING FASTENERS SPECIFIED BY EQUIPMENT MANUFACTURER IN FACTORY PROVIDED MOUNTING HOLES.



PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

PLANS PREPARED BY:

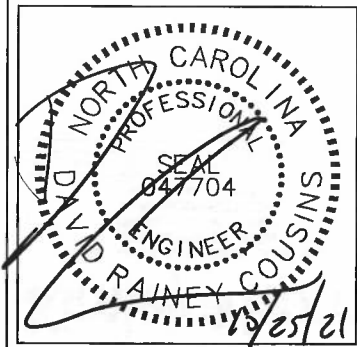
Kimley»Horn

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LICENSER:



KHA PROJECT NUMBER:

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DRAWN BY: CHECKED BY:

JAR

DMF

SHEET TITLE:

EQUIPMENT PAD LAYOUT

SHEET NUMBER:

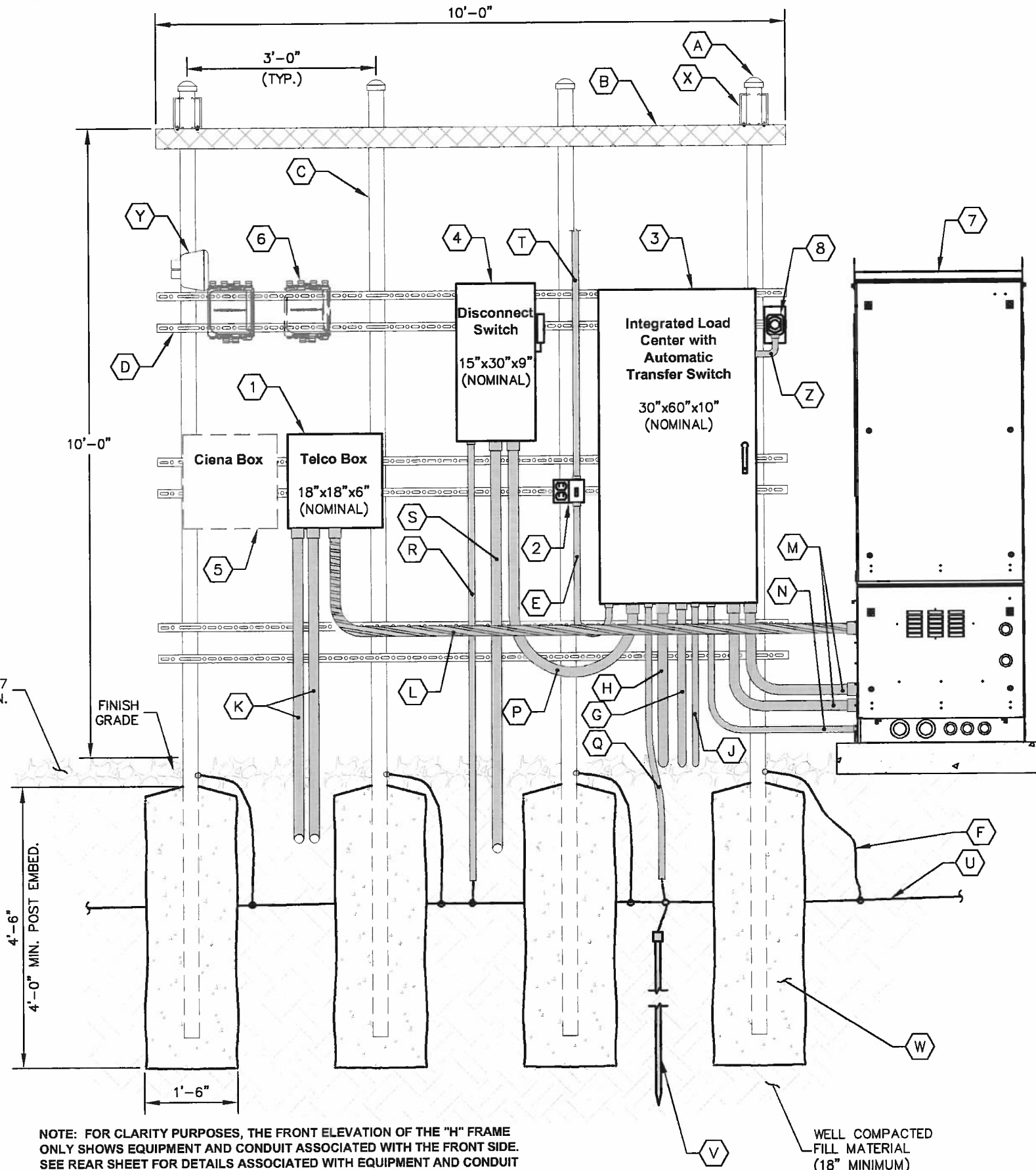
C3

KEY NOTES - CONDUIT, CONDUCTORS, & MISC

- (A) GALVANIZED RIGID STEEL CAP, TYPICAL.
- (B) ICE BRIDGE, SEE CIVIL SHEETS FOR ADDITIONAL DETAILS.
- (C) 3" GALVANIZED RIGID STEEL PIPE, TYPICAL.
- (D) 1 1/2" X 1 1/2" GALVANIZED STEEL CHANNEL (UNISTRUT #P1000) WITH PLASTIC END CAP (UNISTRUT #P2860), TYPICAL.
- (E) 1" PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO LIGHTS/DUPLEX OUTLET.
- (F) ONE (1) #2 AWG BARE SOLID TINNED COPPER BONDING CONDUCTOR (BC) FROM H-FRAME VERTICAL PIPE TO GROUND RING, EXOTHERMIC WELD BOTH ENDS.
- (G) 1" PVC CONDUIT FOR ROUTING GENERATOR CONTROL AND ALARM SIGNAL CABLES TO THE GENERATOR.
- (H) 2" PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO THE GENERATOR.
- (J) 1" PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO THE GENERATOR BATTERY CHARGER AND THE GENERATOR BLOCK HEATER.
- (K) TWO (2) 2" PVC TELCO CONDUITS, WITH TWO (2) PULL ROPES EACH.
- (L) 2" FLEX CONDUIT FOR TELCO CABLES TO RF CABINET. REFER TO ROUTING NOTES ON EQUIPMENT PAD LAYOUT.
- (M) (2) 2" PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO RF CABINET. REFER TO ROUTING NOTES ON EQUIPMENT PAD LAYOUT.
- (N) 1" PVC CONDUIT FROM INTEGRATED LOAD CENTER (ILC) TO RF CABINET FOR ALARM SIGNAL CABLE. REFER TO ROUTING NOTES ON EQUIPMENT PAD LAYOUT.
- (P) 2" PVC CONDUIT FOR ROUTING POWER CONDUCTORS FROM THE DISCONNECT SWITCH TO THE UTILITY BREAKER IN THE ILC.
- (Q) 3/4" PVC CONDUIT WITH ONE (1) - #2 AWG BARE TINNED COPPER FROM GROUNDING LUG IN ILC TO GROUND ROD, EXOTHERMIC WELD TO GROUND ROD.
- (R) 3/4" PVC CONDUIT WITH ONE (1) - #2 AWG BARE TINNED COPPER FROM GROUNDING LUG IN DISCONNECT SWITCH TO GROUND RING, EXOTHERMIC WELD TO GROUND RING.
- (S) 2" PVC CONDUIT FOR ROUTING POWER CONDUCTORS FROM THE UTILITY COMPANY METER TO THE DISCONNECT SWITCH.
- (T) 1" PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO AREA LIGHTS.
- (U) GROUND RING (SEE "E" SHEETS).
- (V) GROUND ROD, EXOTHERMIC WELD TO GROUND RING (SEE "E" SHEETS).
- (W) CONCRETE FOUNDATION FOR H-FRAME VERTICAL PIPE. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI. AND INCLUDE FIBERMESH 650.
- (X) WB-K210-B15 HORSEHEAD SUPPORT BRACKET (SEE "WAVEGUIDE BRIDGE DETAILS" SHEET). THRU BOLTS REQUIRED FOR ATTACHMENT IN LIEU OF FACTORY PROVIDED U-BOLTS.
- (Y) INSTALL LIGHT FIXTURES ON 60" LONG P1001A UNISTRUT RAIL (SEE "EQUIPMENT PAD LAYOUT" SHEET). ATTACH P1001A TO H-FRAME POST USING TWO (2) UB3 UNISTRUT CLAMPS. LIGHTS TO BE INSTALLED 7'-6" ABOVE GRADE.
- (Z) 1" PVC CONDUIT FOR ROUTING POWER CONDUCTORS FROM THE ILC TO THE EMERGENCY GENERATOR STOP SWITCH.

KEY NOTES - ELECTRICAL EQUIPMENT

- (1) NEMA 3R ENCLOSURE TELCO BOX WITH REMOVABLE FRONT PANEL, PVC, (18" X 18" X 6" NOMINAL).
- (2) 20 AMP GFCI DUPLEX RECEPTACLE AND TIMER SWITCH, ENERLITES HET06 SERIES (OR APPROVED EQUIVALENT) IN LOCKABLE NEMA 3R ENCLOSURE, 2 GANG BOX WITH RED DOT 2CKPM-W COVER.
- (3) 200 AMP, 120/240 VOLT, INTEGRATED LOAD CENTER WITH 42 SPACE PANEL AND AUTOMATIC TRANSFER SWITCH (30" X 60" X 10" NOMINAL).
- (4) SE RATED, 240 V, 200 AMP, 2-POLE, NON-FUSED DISCONNECT IN NEMA 3R ENCLOSURE.
- (5) CIENA ETHERNET IF REQUIRED (COORDINATE WITH VERIZON CONSTRUCTION MANAGER FOR ADDITIONAL CONDUIT AND WIRING REQUIREMENTS).
- (6) DIPLEXERS "AS NEEDED".
- (7) VERIZON RF CABINET-REAR VIEW.
- (8) EMERGENCY SHUTOFF SWITCH FOR GENERATOR MOUNTED ON 4" X 7" GALVANIZED J-BOX COVER PLATE



NOTE: FOR CLARITY PURPOSES, THE FRONT ELEVATION OF THE "H" FRAME ONLY SHOWS EQUIPMENT AND CONDUIT ASSOCIATED WITH THE FRONT SIDE. SEE REAR SHEET FOR DETAILS ASSOCIATED WITH EQUIPMENT AND CONDUIT MOUNTED ON THE REAR SIDE OF THE "H" FRAME.

1 EQUIPMENT RACK DETAILS - FRONT
C4 NOT TO SCALE

verizon

8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28282

PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

PLANS PREPARED BY:

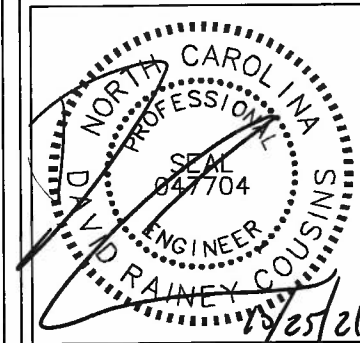
Kimley»Horn

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LICENSER:



KHA PROJECT NUMBER:

013509278

DRAWN BY:

JAR

CHECKED BY:

DMF

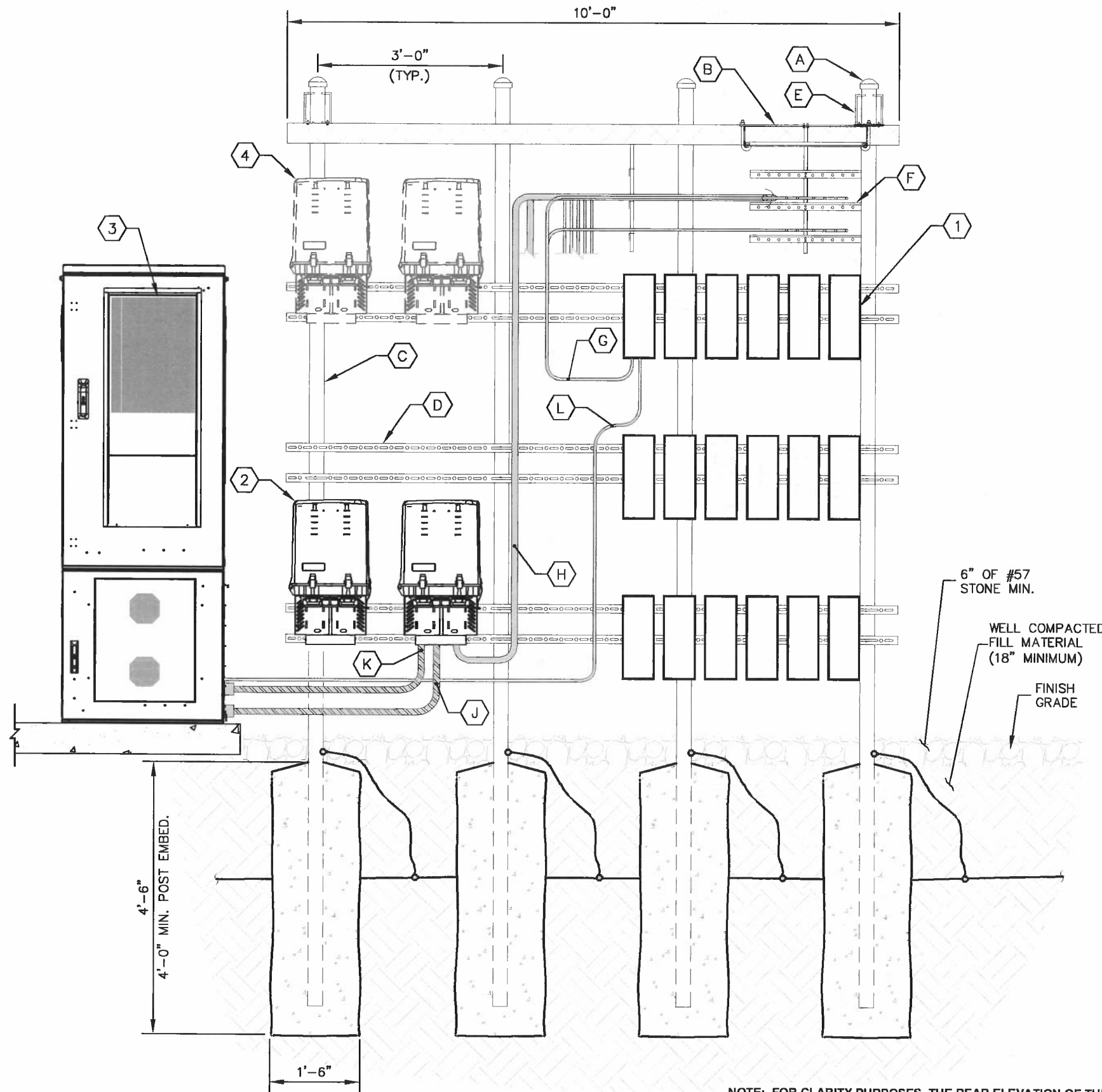
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EQUIPMENT RACK
DETAIL - FRONT

SHEET NUMBER:

C4

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1 EQUIPMENT RACK DETAILS - REAR
C5 NOT TO SCALE

NOTE: FOR CLARITY PURPOSES, THE REAR ELEVATION OF THE "H" FRAME ONLY SHOWS EQUIPMENT AND CONDUIT ASSOCIATED WITH THE REAR SIDE. SEE FRONT SHEET FOR DETAILS ASSOCIATED WITH EQUIPMENT AND CONDUIT MOUNTED ON THE FRONT SIDE OF THE "H" FRAME.

KEY NOTES - CONDUIT, CONDUCTORS, & MISC

- A GALVANIZED RIGID STEEL CAP, TYPICAL.
- B ICE BRIDGE, SEE CIVIL SHEETS FOR ADDITIONAL DETAILS.
- C 3" GALVANIZED RIGID STEEL PIPE, TYPICAL.
- D 1 1/2" X 1 1/2" GALVANIZED STEEL CHANNEL (UNISTRUT #P1000) WITH PLASTIC END CAP (UNISTRUT #P2860), TYPICAL.
- E WB-K210-B15 HORSEHEAD SUPPORT BRACKET (SEE "WAVEGUIDE BRIDGE DETAILS" SHEET). THRU BOLTS REQUIRED FOR ATTACHMENT IN LIEU OF FACTORY PROVIDED U-BOLTS.
- F ICE BRIDGE RUNNING TOWARDS TOWER (SEE "EQUIPMENT PAD LAYOUT" SHEET).
- G COAX JUMPER CABLES INTO BOTTOM OF RRU'S, TYPICAL.
- H HYBRID CABLES RUNNING INTO BOTTOM OF RAYCAPS, TYPICAL (SEE NOTE 7 ON "EQUIPMENT PAD LAYOUT" SHEET).
- J 1 1/2" POWER FLEX CONDUIT RUNNING FROM BOTTOM OF RAYCAPS TO CABINET, TYPICAL (SEE "EQUIPMENT PAD LAYOUT" SHEET).
- K 2" FIBER FLEX CONDUIT RUNNING FROM BOTTOM OF RAYCAPS TO CABINET, TYPICAL (SEE "EQUIPMENT PAD LAYOUT" SHEET).
- L FIBER/POWER JUMPER TO RRU (TYP. FOR EACH RRU).

KEY NOTES - ELECTRICAL EQUIPMENT

- 1 VERIZON RF RRU'S (MODEL, QUANTITY OF, AND CONFIGURATION DETERMINED BY RF DESIGN).
- 2 VERIZON RAYCAPS (MODEL, QUANTITY OF, AND CONFIGURATION DETERMINED BY RF DESIGN).
- 3 VERIZON RF CABINET-FRONT VIEW.
- 4 FUTURE VERIZON RAYCAPS.

verizon

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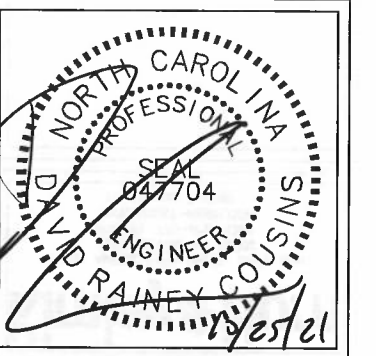
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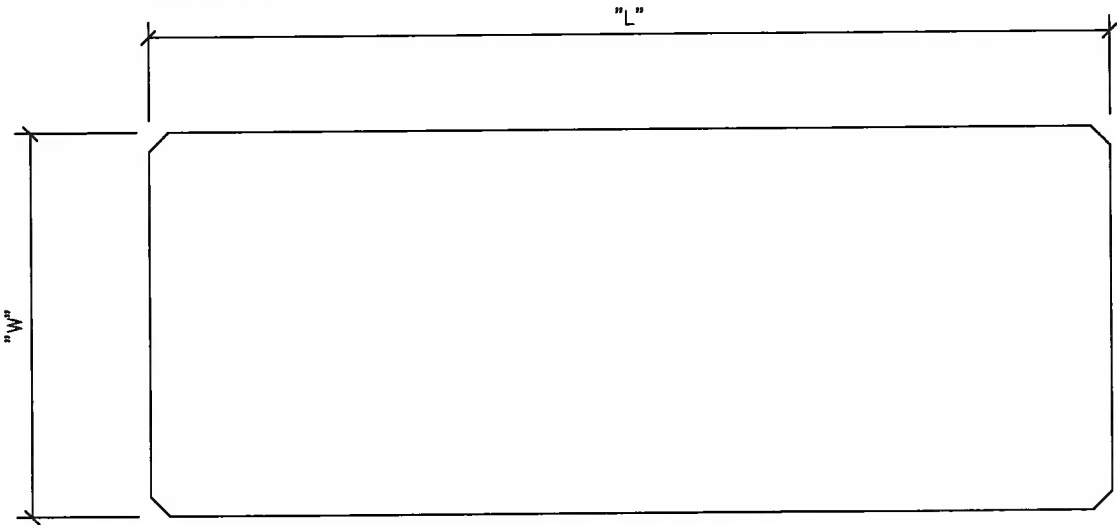
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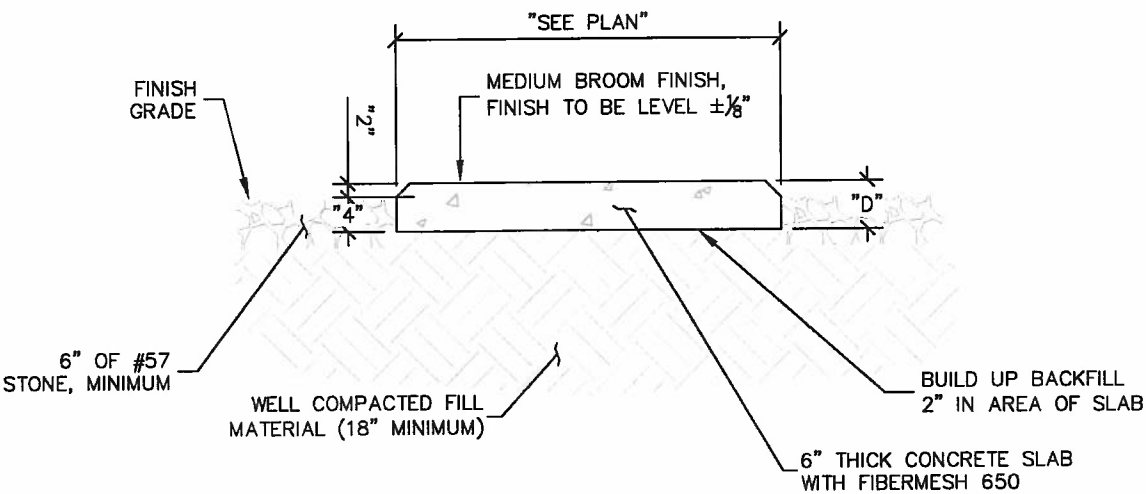
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CONCRETE PAD SCHEDULE				
PAD TYPE	"L"	"W"	"D"	REINFORCEMENT
EQUIPMENT PAD	10'-0"	4'-0"	6"	SEE DETAIL 2/C6
GENERATOR PAD	8'-0"	3'-6"	6"	SEE DETAIL 2/C6
PROPANE TANK PAD	8'-0"	3'-6"	6"	SEE DETAIL 2/C6



1 CONCRETE PAD PLAN
C6 NOT TO SCALE



2 CONCRETE PAD FOUNDATION SECTION
C6 NOT TO SCALE

verizon

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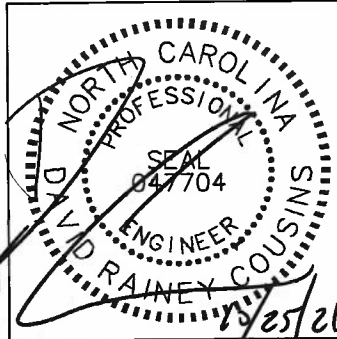
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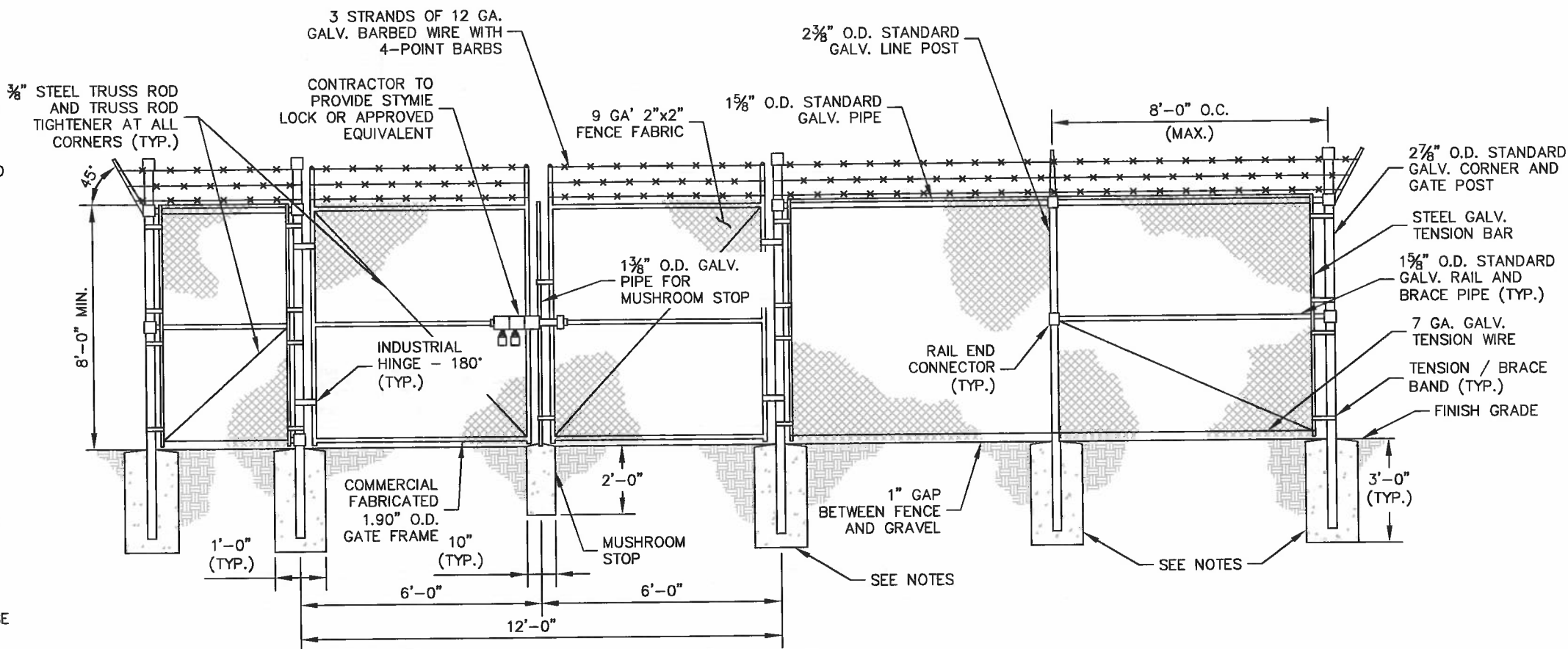
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CONCRETE PAD
FOUNDATION
DETAILS

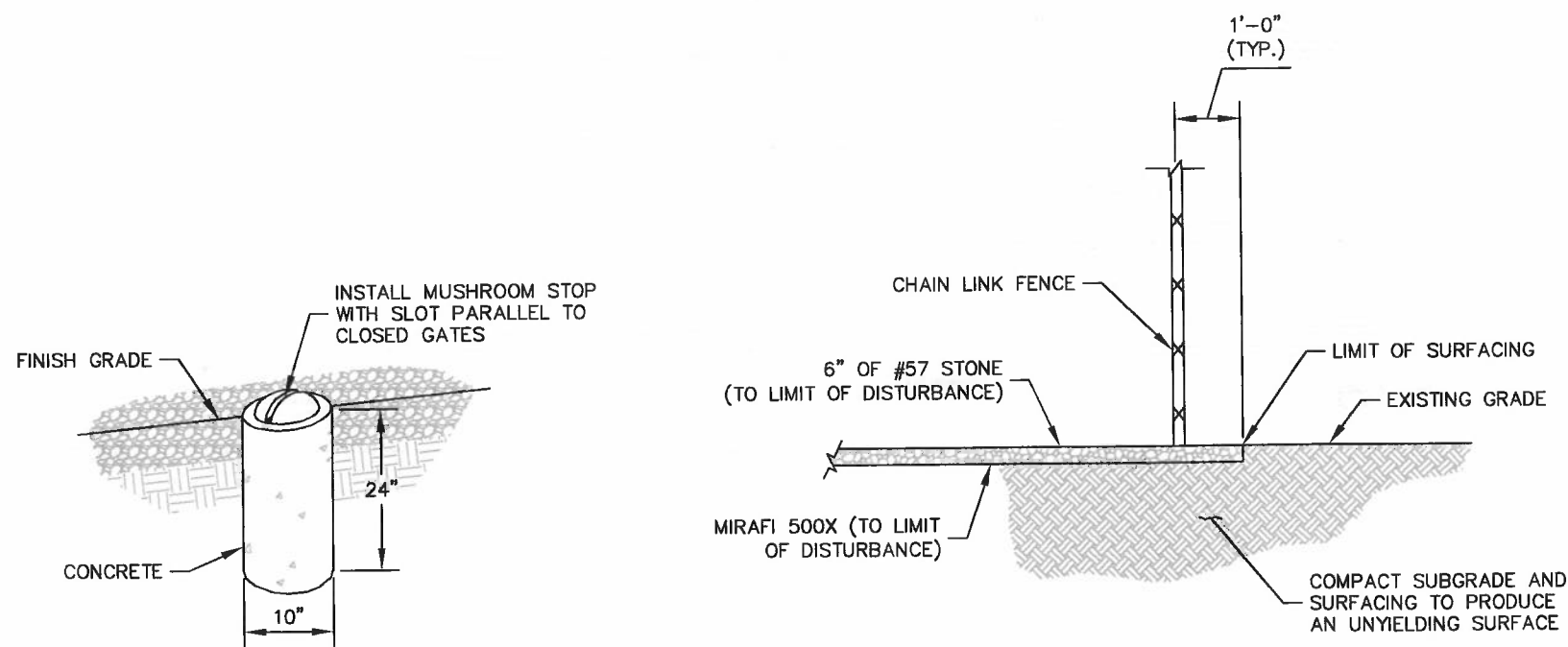
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- FENCE NOTES:**
1. USE 3,000-PSI CONCRETE, FULLY CONSOLIDATED AROUND THE POST.
 2. WHERE THE POST IS SET IN ROCK OR CONCRETE, CORE A HOLE 12" DEEP AND 1" LARGER IN DIAMETER THAN THE POST. SET THE POST AND GROUT IN PLACE USING NON-SHRINK GROUT.
 3. ALL POSTS MUST BE PLUMB AND ALIGNED WITH ONE ANOTHER IN BOTH HORIZONTAL AND VERTICAL PLANES.
 4. CORNERS AND GATEPOSTS FOR CHAIN LINK FENCES SHALL EXTEND ABOVE THE TOP STRAND OF BARBED WIRE TO PROVIDE TENSIONING FOR THE BARBED WIRE.
 5. PROVIDE MIDRAILS AND BRACING AT ALL CORNER POSTS WHERE THE FENCE CHANGES DIRECTION BY MORE THAN 30 DEGREES.
 6. THE GRADE OF THE SITE AND INSTALLATION OF THE FENCE SHALL PROVIDE FOR NO MORE THAN A 1" GAP BETWEEN THE BOTTOM OF THE FENCE MATERIAL AND FINISH GRADE.
 7. CONTRACTOR SHALL PROVIDE HOLD OPEN DEVICES FOR ALL GATES AT THE SPECIFIED OPEN POSITIONS, DRIVEN PIPE TYPE RECEIVERS ARE NOT AUTHORIZED.
 8. CONTRACTOR SHALL ALSO PROVIDE A MUSHROOM TYPE RECEIVER AT THE CLOSE POSITION.

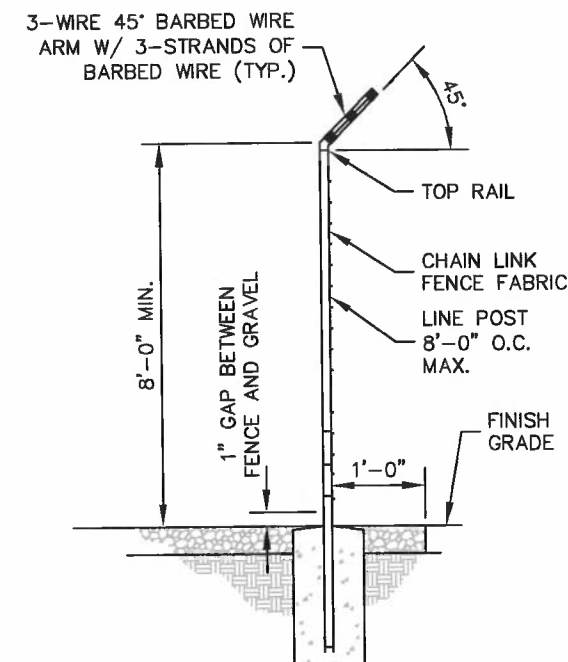


1 CHAIN LINK FENCE AND GATE ELEVATION
C7 NOT TO SCALE



2 MUSHROOM STOP
C7 NOT TO SCALE

3 SITE COMPOUND SURFACE DETAIL
C7 NOT TO SCALE



4 SECTION AT FENCE
C7 NOT TO SCALE

verizon

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CHARLOTTE, NORTH CAROLINA 28262

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PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

PLANS PREPARED BY:

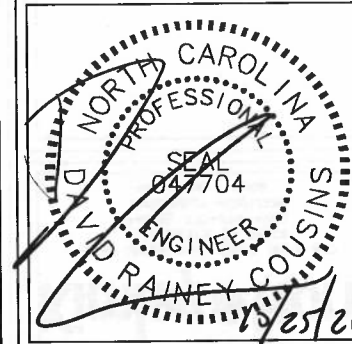
Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM
NC License F-0102

REV: DATE: ISSUED FOR: BY:

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1	10/11/21	CONSTRUCTION	DRC
0	09/07/21	CONSTRUCTION	DRC

LICENSER:



KHA PROJECT NUMBER:

013509278

DRAWN BY: CHECKED BY:

JAR

DMF

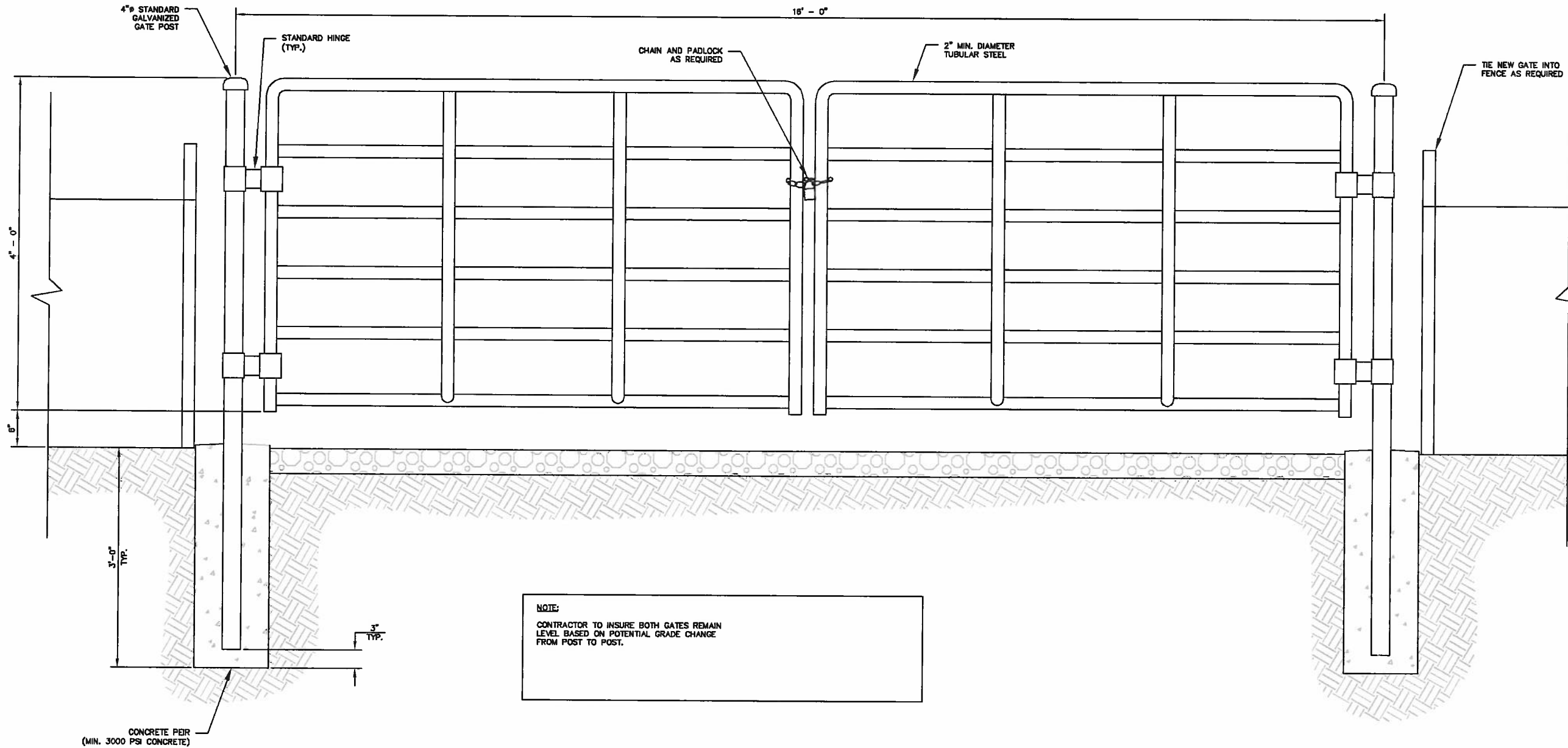
SHEET TITLE:

**FENCE, GATE, AND
COMPOUND
DETAILS**

SHEET NUMBER:

C7

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NOTE:
CONTRACTOR TO INSURE BOTH GATES REMAIN
LEVEL BASED ON POTENTIAL GRADE CHANGE
FROM POST TO POST.

1 CATTLE GATE DETAILS
C7.1 NOT TO SCALE



8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

PLANS PREPARED BY:

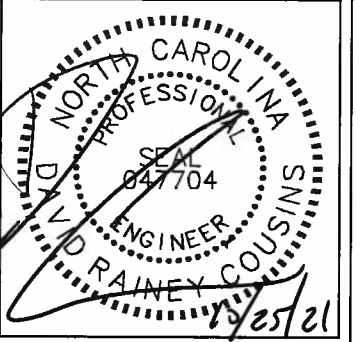
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LICENSER:



KHA PROJECT NUMBER:

013509278

DRAWN BY: CHECKED BY:

JAR

DMF

SHEET TITLE:

CATTLE GATE
DETAIL

SHEET NUMBER:

C7.1

K:\AT_Wireless\000_Verizon\2020_Sites\Swallowtail\CAD\CB\ECor-CB.dwg 10/11/21 5:21 PM by: William.Bridger

NOTE:
CURRENT DESIGN ANTICIPATES APPROXIMATELY 7,186± SQ. FT. (.16 ACRES) OF CLEARING AND GRADING FOR THE PROPOSED PROJECT. IF ADDITIONAL CLEARING IS REQUIRED BEYOND WHAT IS SHOWN IN THE PLANS THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND/OR PROJECT MANAGER. IF DURING THE BID WALK OR CONSTRUCTION IT IS DETERMINED THAT MORE THAN (1) ACRE OF LAND IS TO BE DISTURBED FOR CONSTRUCTION AN EROSION AND SEDIMENTATION CONTROL PLAN MUST BE FILED 30 DAYS PRIOR TO CONSTRUCTION.

GRADING NOTES:

1. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEERS SPECIFICATIONS. FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
2. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
3. CONTRACTOR SHALL BLEND EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
4. PORTIONS OF THE SITE NOT SPECIFICALLY MENTIONED WITHIN THE GEOTECHNICAL REPORT SHALL BE COMPACTED TO 95 PERCENT OF THE MATERIALS MAXIMUM DRY DENSITY WITHIN 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
5. FILL SHALL BE PLACED IN MAXIMUM 8 INCH LOOSE LIFTS.
6. UNDISTURBED AREAS WITHIN 30' INGRESS/EGRESS EASEMENT NOT NEEDED FOR UTILITY ROUTING TO BE LEFT UNDISTURBED.
7. GROUND WATER SHOULD BE REASONABLY EXPECTED. ANY DE-WATERING OR MOISTURE CONDITIONING IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHOULD BE INCLUDED IN THE CONTRACT PRICE.
8. SEED ALL DISTURBED AREAS NOT TOPPED WITH GRAVEL PER SEEDING SCHEDULE ON DETAIL ON SHEET C9.
9. MAXIMUM CUT SLOPE = 2H:1V UNLESS OTHERWISE NOTED.
10. MAXIMUM FILL SLOPE = 3H:1V UNLESS OTHERWISE NOTED.

LEGEND

EXISTING CONTOURS

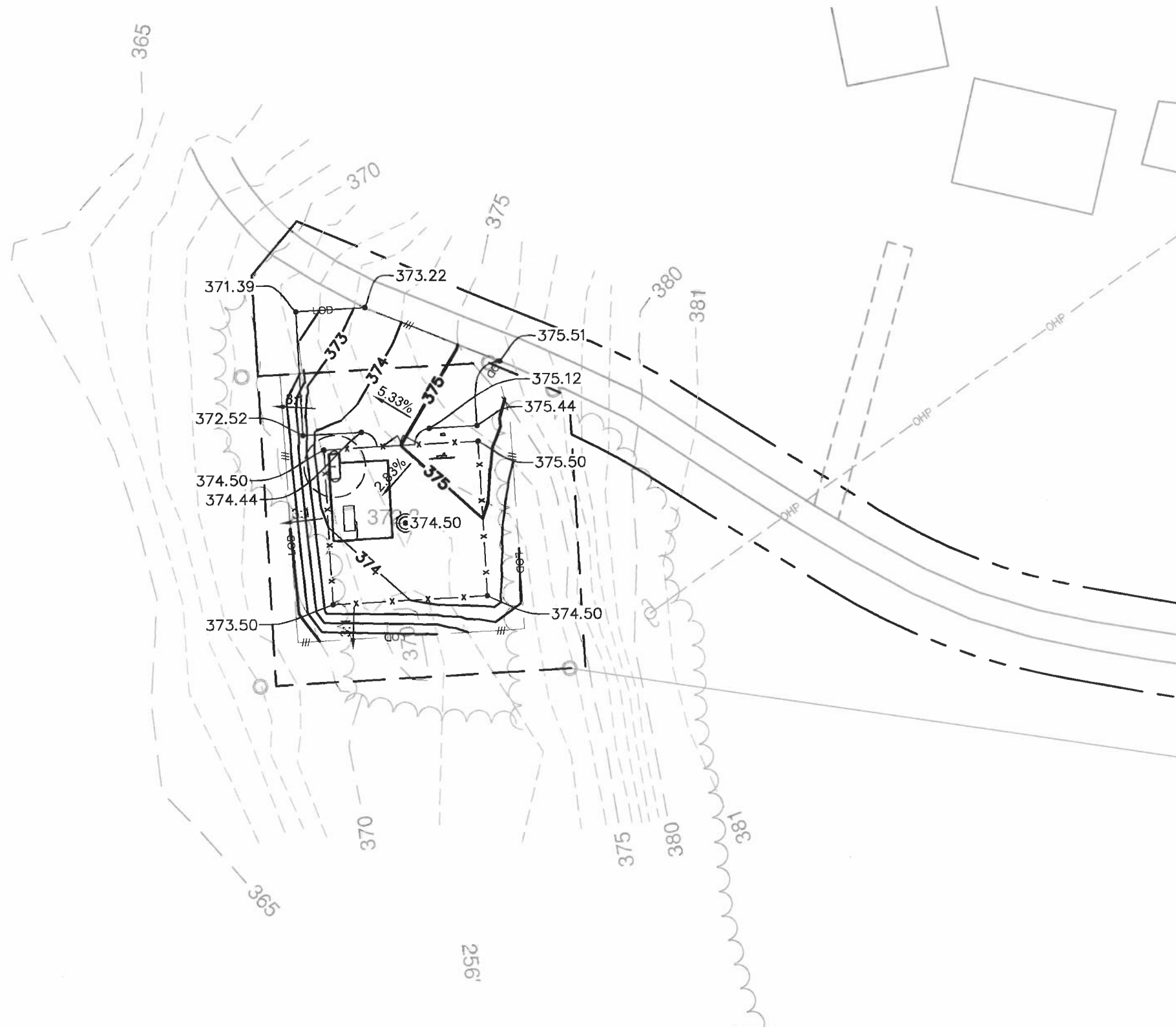
PROPOSED CONTOURS

LOD/SILT FENCE — LOD — //

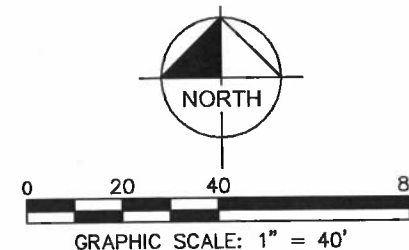
TPF — TPF — TPF

EXISTING SPOT ELEVATION x XXX

PROPOSED SPOT ELEVATION • XXX



1 GRADING & EROSION CONTROL PLAN
C8 SCALE: 1" = 40'



verizon

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CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

PLANS PREPARED BY:

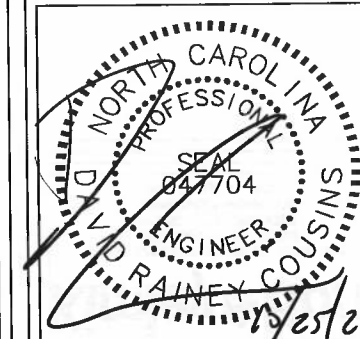
Kimley»Horn

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LICENSER:



KHA PROJECT NUMBER:

013509278

DRAWN BY: CHECKED BY:

JAR

DMF

SHEET TITLE:

**GRADING AND
EROSION
CONTROL PLAN**

SHEET NUMBER:

C8

EROSION CONTROL NOTES:

1. EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE.
2. ALL EXCAVATED SOILS NOT NEEDED ON SITE FOR BACKFILL OPERATIONS SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE TAKEN OFF SITE AND LEGALLY DISPOSED OF.
3. SOIL REMAINING ON SITE SHALL HAVE SILT FENCE TIGHTLY PLACED AROUND THE ENTIRE CIRCUMFERENCE OF THE PILE.
4. PROVIDE EROSION CONTROLS AS NECESSARY TO PREVENT EXISTING SOILS FROM DRAINING OFF SITE OR INTO EXISTING DRAINAGE STRUCTURES.
5. ERECTION OF EROSION CONTROLS SHALL BE IN ACCORDANCE WITH STATE AND LOCAL EROSION CONTROL REGULATIONS.

SEEDING SCHEDULE FOR WINTER / SPRING CONSTRUCTION ACTIVITIES

SEEDING MIXTURE

Species	Rate (lb/acre)
Rye (grain)	120
Annual lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains)	50

Omit annual lespedeza when duration of temporary cover is not to extend beyond June.

SEEDING DATES

Mountains--	Above 2500 ft:	Feb 15 - May 15
	Below 2500 ft:	Feb. 1 - May 1
Piedmont--	Jan. 1 - May 1	
Coastal Plain--	Dec. 1 - Apr. 15	

SOIL AMENDMENTS

Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

MULCH

Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

MAINTENANCE

Refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage.

SEEDING SCHEDULE FOR SUMMER CONSTRUCTION ACTIVITIES

SEEDING MIXTURE

Species	Rate (lb/acre)
Common Bermudagrass	40-80 (1-2 lb/1,000 sq. ft.)

SEEDING DATES

Coastal Plain--Apr. 1 - July
Piedmont--Apr. 15 - June 30

SOIL AMENDMENTS

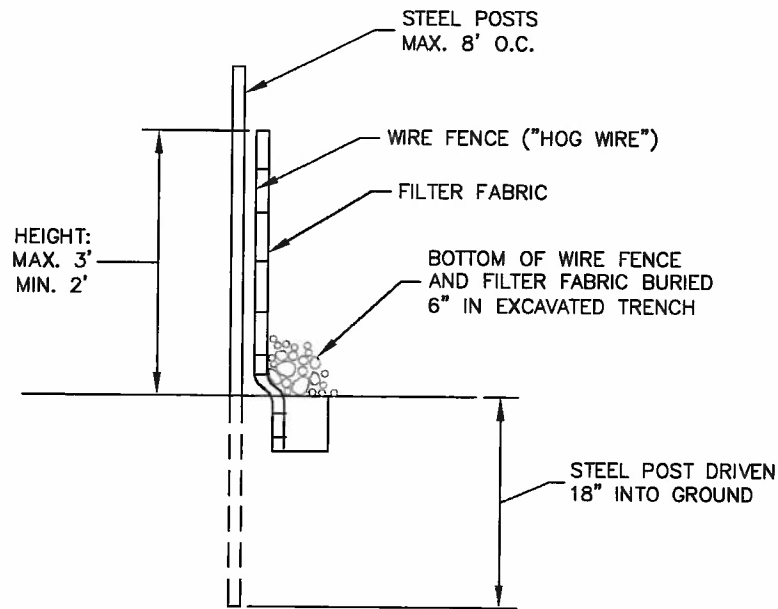
Apply lime and fertilizer according to soil tests, or apply 3,000 lb/acre ground agricultural limestone and 500 lb/acre 10-10-10 fertilizer.

MULCH

Use jute, excelsior matting, or other effective channel lining material to cover the bottom of channels and ditches. The lining should extend above the highest calculated depth of flow. On channel side slopes above this height, and in drainages not requiring temporary lining, apply 4,000 lb/acre grain straw and anchor straw by stapling netting over the top.

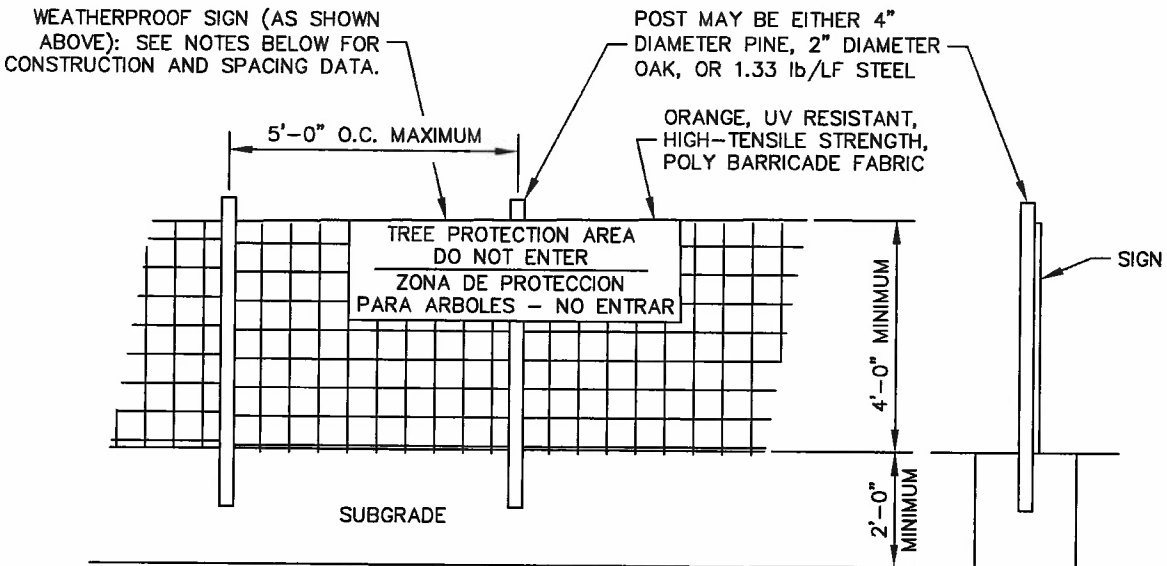
MAINTENANCE

A minimum of 3 weeks is required for establishment. Inspect and repair mulch frequently. Refertilize the following Apr. with 50 lb/acre nitrogen.



SECTION

1 SEDIMENT FENCE (SILT FENCE)
C9 NOT TO SCALE



NOTES
INSTALL TREE PROTECTION FENCE AND SIGNAGE PRIOR TO CALLING FOR SITE INSPECTION. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT. ADDITIONAL SIGNS MAY BE REQUIRED BASED ON ACTUAL FIELD CONDITIONS.

2 TREE PROTECTION FENCE
C9 NOT TO SCALE

verizon
8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

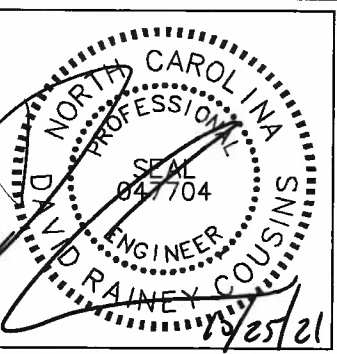
PLANS PREPARED BY:

Kimley»Horn
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM
NC License F-0102

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LICENSER:



KHA PROJECT NUMBER:

013509278

DRAWN BY: CHECKED BY:

JAR

DMF

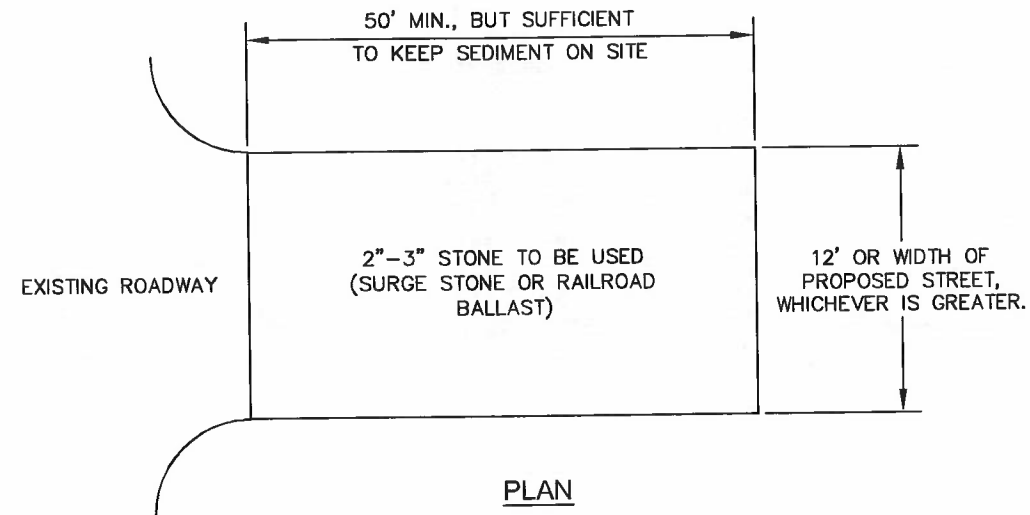
SHEET TITLE:

**GRADING AND
EROSION
CONTROL DETAILS**

SHEET NUMBER:

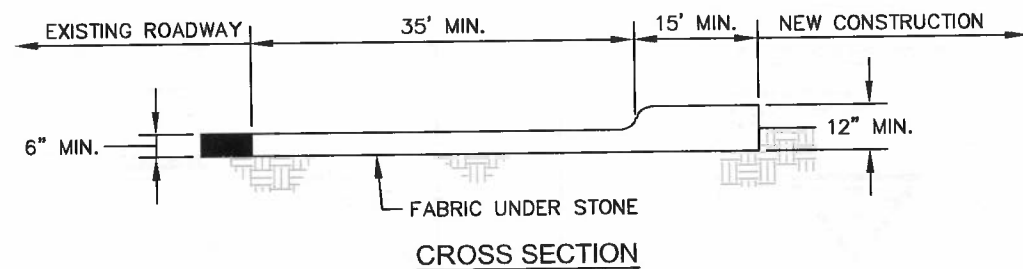
C9

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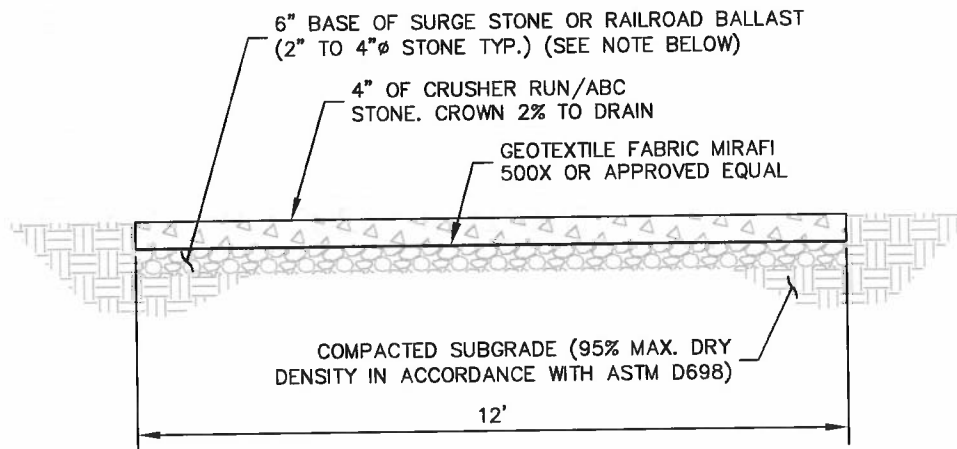
NOTES:

1. PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
2. IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.
3. IF A PROJECT CONTINUES TO PULL MUD AND DEBRIS ON TO THE PUBLIC ROAD, THE GOVERNING AUTHORITY WILL CLEAN THE AREA AND INVOICE THE FINANCIALLY RESPONSIBLE PERSON AS INDICATED ON THE FINANCIAL RESPONSIBILITY FORM.



1 CONSTRUCTION ENTRANCE
C10 NOT TO SCALE

2 STANDARD ACCESS ROAD AND TURN-AROUND DETAIL
C10 NOT TO SCALE



NOTE:

IF DETERMINED NECESSARY DURING GRADING AND CONSTRUCTION OF THE ACCESS ROAD BY THE VERIZON WIRELESS PROJECT MANAGER, THE CONTRACTOR SHALL INSTALL 6" BASE OF SURGE STONE OR RAILROAD BALLAST (2" TO 4"Ø STONE TYP.)

verizon

8921 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:

SWALLOWTAIL

SITE No.: 431713

PROJECT #: N/A

452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

PLANS PREPARED BY:

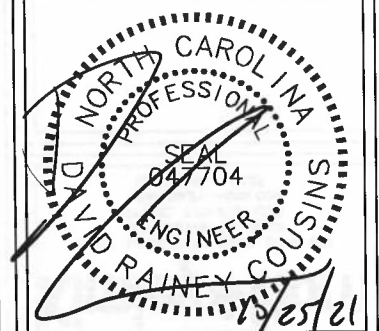
Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
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NC License F-0102

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LICENSER:



KHA PROJECT NUMBER:

013509278

DRAWN BY: CHECKED BY:

JAR

DMF

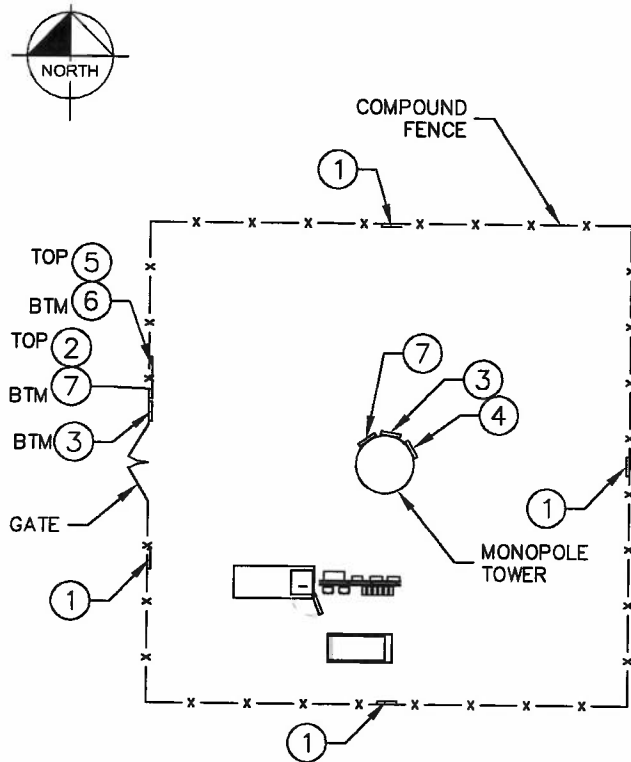
SHEET TITLE:

**ACCESS ROAD
DETAILS**

SHEET NUMBER:

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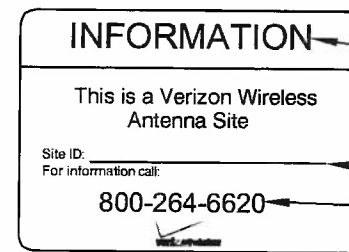
NOTE: SEE TYPICAL SIGNS AND SPECIFICATIONS
DETAIL ON THIS SHEET FOR SIGN DESIGNATIONS.

1 SIGN PLACEMENT PLAN VIEW
C11 NOT TO SCALE



WHITE BACKGROUND w/
RED LETTERING

1 NO-TRESPASSING SIGN
18" HIGH X 24" WIDE
(OPERATIONS PROVIDED)

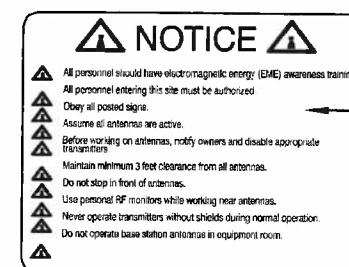


GREEN BACKGROUND w/
WHITE LETTERING

WHITE BACKGROUND w/
BLACK LETTERING

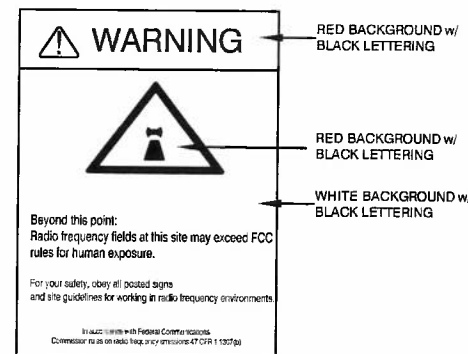
WHITE BACKGROUND w/
BLACK LETTERING

2 VERIZON WIRELESS - SITE ID SIGN
15" HIGH X 23" WIDE
(OPERATIONS PROVIDED)



YELLOW BACKGROUND w/
BLACK LETTERING

3 NOTICE-RFE SIGN
12" HIGH X 18" WIDE
(OPERATIONS PROVIDED)

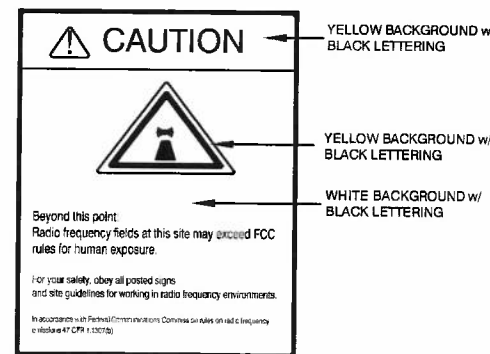


RED BACKGROUND w/
BLACK LETTERING

RED BACKGROUND w/
BLACK LETTERING

WHITE BACKGROUND w/
BLACK LETTERING

4 WARNING-RF SIGN (RED)
12" WIDE X 18" HIGH

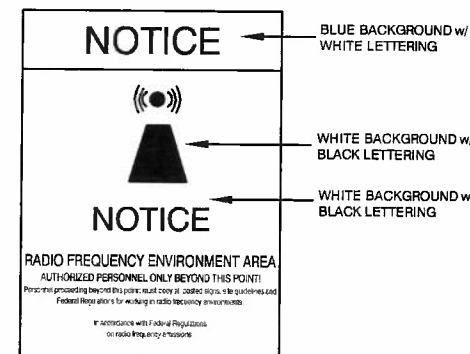


YELLOW BACKGROUND w/
BLACK LETTERING

YELLOW BACKGROUND w/
BLACK LETTERING

WHITE BACKGROUND w/
BLACK LETTERING

5 CAUTION-RF SIGN (YELLOW)
12" WIDE X 18" HIGH



BLUE BACKGROUND w/
WHITE LETTERING

WHITE BACKGROUND w/
BLACK LETTERING

WHITE BACKGROUND w/
BLACK LETTERING

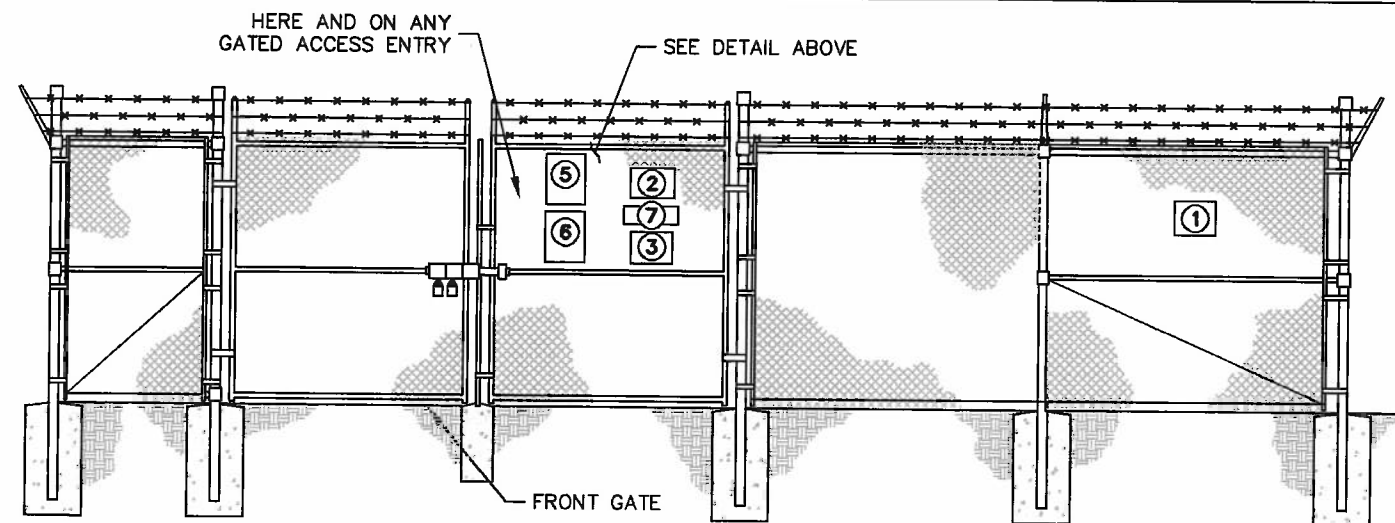
6 NOTICE-RF SIGN (BLUE)
12" WIDE X 18" HIGH



WHITE W/BLACK LETTERING

7 FCC REGISTRATION SIGN
20 WIDE X 4" HIGH

2 TYPICAL SIGNS AND SPECIFICATIONS
C11 NOT TO SCALE



3 SIGN PLACEMENT FRONT GATE VIEW
C11 NOT TO SCALE

SIGNAGE NOTES:

1. SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL, AND PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
2. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE, AND FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.

verizon
8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

PLANS PREPARED BY:

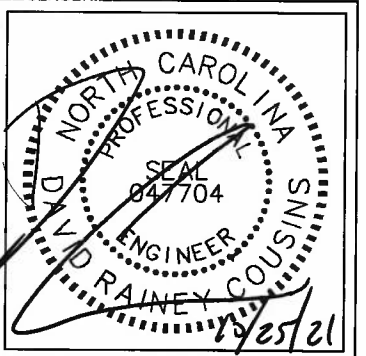
Kimley»Horn

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LICENSER:



KHA PROJECT NUMBER:
013509278

DRAWN BY: CHECKED BY:
JAR DMF

SHEET TITLE:

SITE SIGNAGE
DETAILS

SHEET NUMBER:

C11

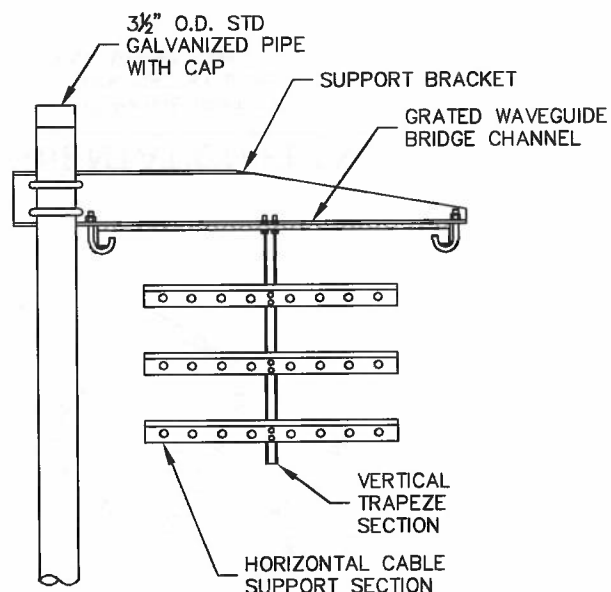
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SWALLOWTAIL
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452 FARM LIFE SCHOOL RD
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PLANS PREPARED BY:

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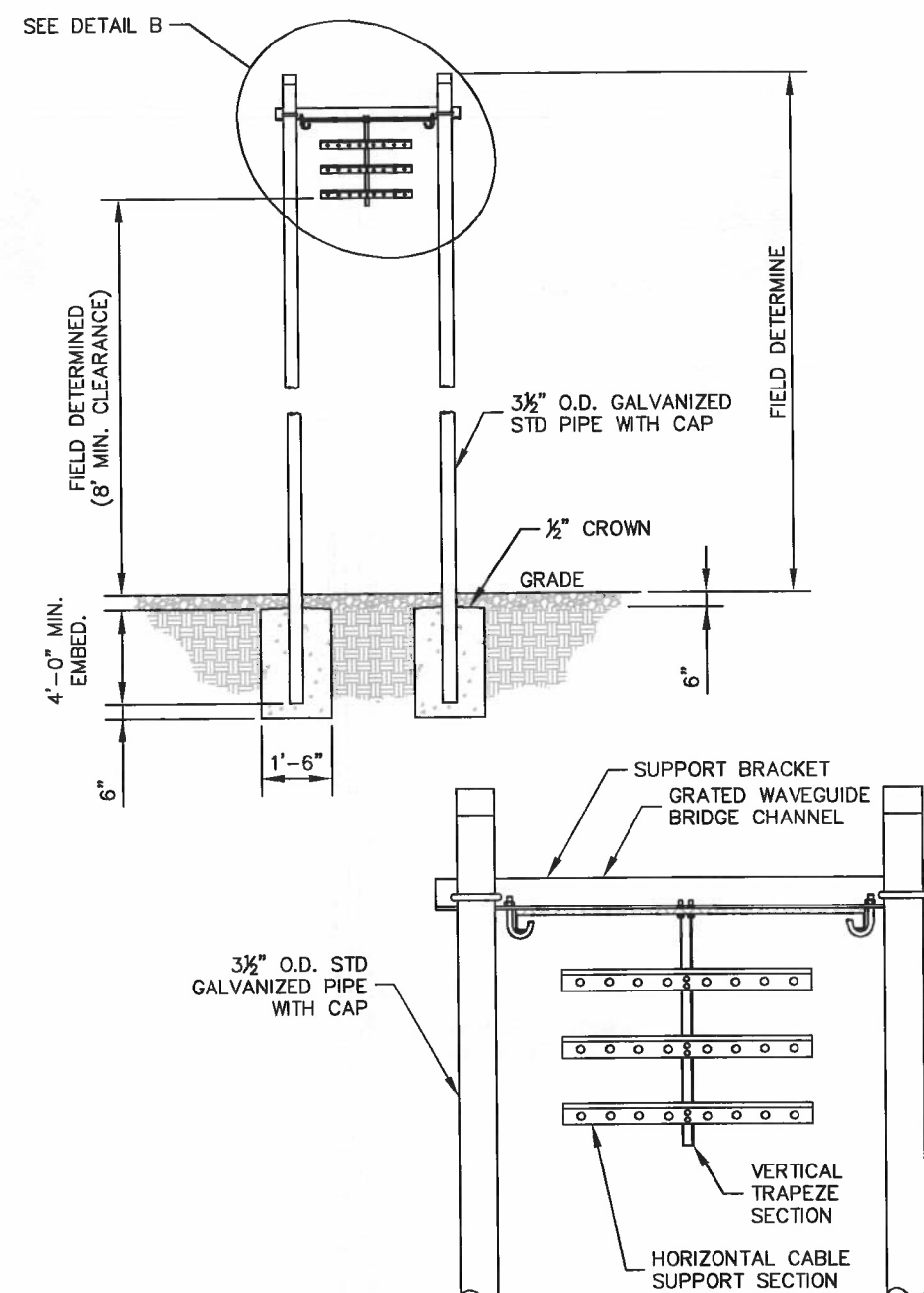


DETAIL A

ANDREW 1 POST WAVEGUIDE BRIDGE
KIT (PART #: WB-K210-B15, OR
APPROVED EQUIVALENT)

NOTE:

1. ALL MATERIALS FURNISHED BY CONTRACTOR
UNLESS OTHERWISE NOTED.



DETAIL B

ANDREW 2 POST WAVEGUIDE BRIDGE
KIT (PART #:WB-K410-B15, OR
APPROVED EQUIVALENT)

NOTE:

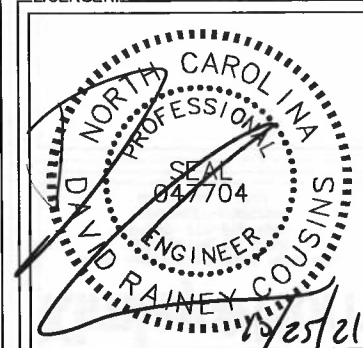
1. ALL MATERIALS FURNISHED BY CONTRACTOR
UNLESS OTHERWISE NOTED.

1 WAVEGUIDE BRIDGE DETAIL
C12 NOT TO SCALE

2 WAVEGUIDE BRIDGE DETAIL (ALT DESIGN - 2 PIPE COLUMNS)
C12 NOT TO SCALE

REV: <u> </u> DATE: <u> </u> ISSUED FOR: <u> </u> BY: <u> </u>			
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KHA PROJECT NUMBER

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DRAWN BY: _____ CHECKED BY: _____

JAR	DMF
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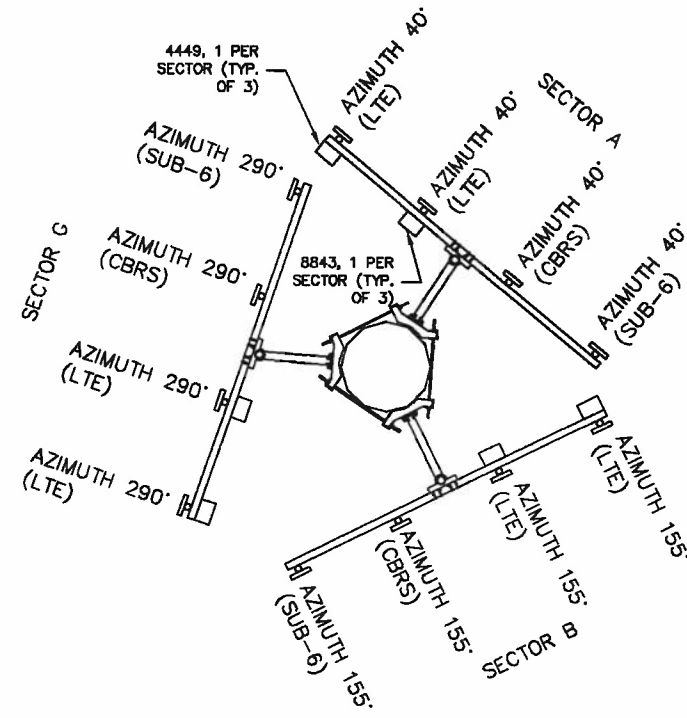
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WAVEGUIDE BRIDGE DETAILS

SHEET NUMBER: 3

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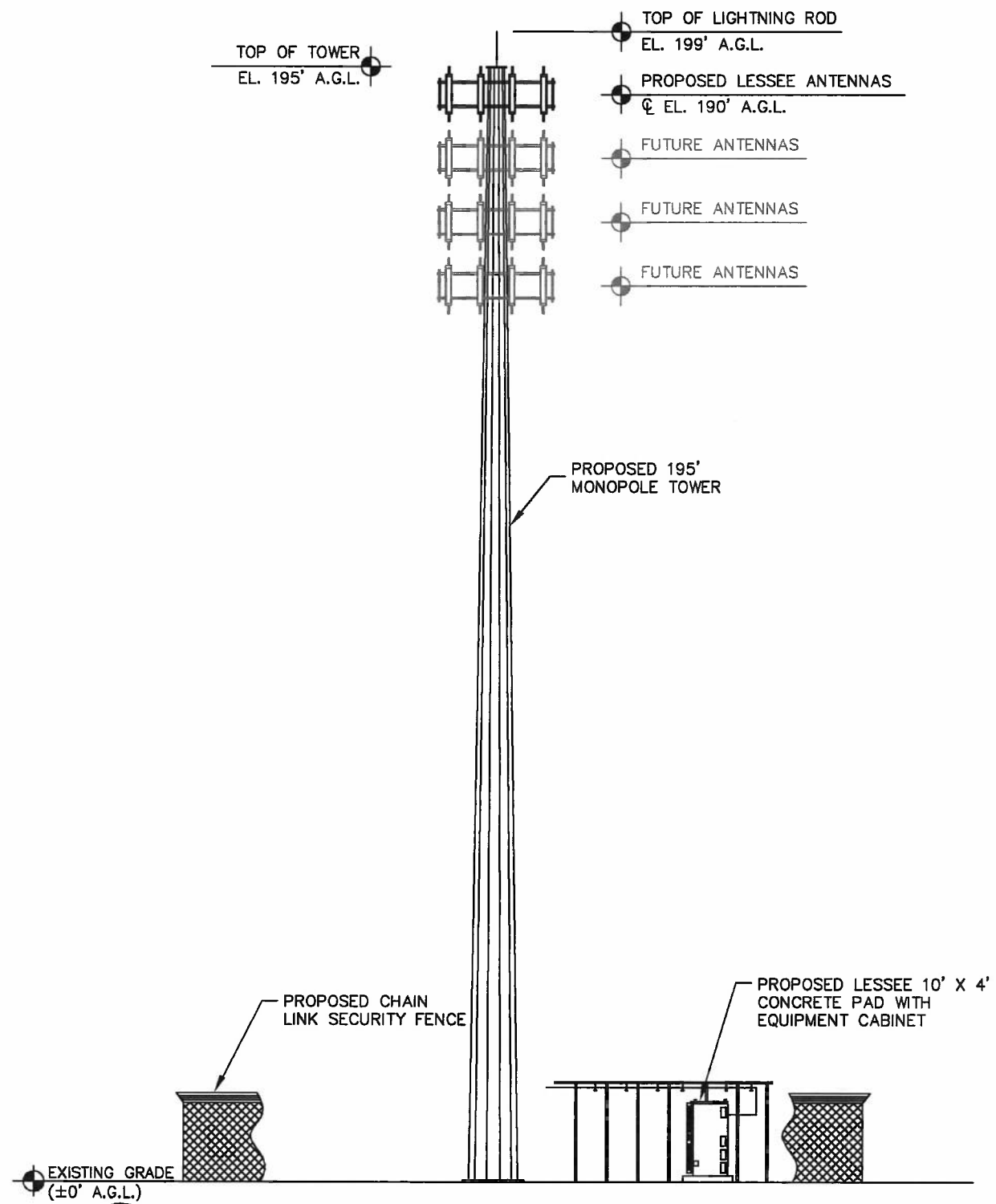


1 ANTENNA ORIENTATION PLAN
(NOT TO SCALE, FOR ILLUSTRATIVE PURPOSES ONLY, SEE STRUCTURAL ANALYSIS BY OTHERS TO CONFIRM ANTENNA MOUNT TYPE)

NOTE:
REFER TO RFDS PROVIDED BY VERIZON. CONTRACTOR TO CONTACT THE VERIZON WIRELESS CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION FOR THE CONSTRUCTION RFDS.

NOTES:
1. ALL INFORMATION ON THIS PAGE IS PROVIDED BY VERIZON WIRELESS AND/OR OTHERS AND IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL CONTACT THE VERIZON WIRELESS CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION FOR ALL DETAILED ANTENNA, AND COAX CABLE INFORMATION.
2. REFER TO STRUCTURAL ANALYSIS BY TOWER OWNER FOR ANALYSIS OF PROPOSED TOWER.
3. IT IS UNDERSTOOD THAT KIMLEY-HORN MAKES NO WARRANTY, EITHER EXPRESSED OR IMPLIED, FINDINGS, DESIGNS, RECOMMENDATIONS, SPECIFICATIONS, OPINION, OR PROFESSIONAL ADVICE RELATING TO THE STRUCTURAL ADEQUACY OF THE PROPOSED TOWER OR ATTACHMENT OF ANTENNAS OR OTHER APPURTENANCES.

NOTE: GENERAL CONTRACTOR TO INSTALL RAYCAP OVP, NUMBER AND TYPE PER VERIZON CONSTRUCTION MANAGER.



2 MONOPOLE TOWER ELEVATION
NOT TO SCALE

- NOTES:**
- 1. ALL PROPOSED ATTACHMENTS TO TOWER BASED ON TOWER DESIGN DRAWINGS BY OTHERS (SEE GENERAL NOTE 1.07, SHEET N1).
 - 2. THE TOWER ELEVATION SHOWN IS FOR REFERENCE ONLY.
 - 3. COAX/FIBER CABLE LENGTHS ARE APPROXIMATE. CONTRACTOR TO VERIFY CORRECT LENGTH IN FIELD AT TIME OF CONSTRUCTION.
 - 4. PROPOSED TOWER WILL BE GALVANIZED STEEL-GRAY IN COLOR.



PROJECT INFORMATION:
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SITE No.: 431713
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MOORE COUNTY

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LICENSER:

FOR ILLUSTRATIVE PURPOSES ONLY- NO SIGNATURE REQUIRED

KHA PROJECT NUMBER:
013509278
DRAWN BY: JAR **CHECKED BY:** DMF

SHEET TITLE:
ANTENNA AND TOWER ELEVATION DETAILS

SHEET NUMBER:
C13

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KEY NOTES - CONDUIT, CONDUCTORS, & MISC

- A 1" SCHEDULE 40 STEEL PIPE. PIPE MATERIAL TO COMPLY WITH SECTION 403.4.2 OF THE 2018 NORTH CAROLINA FUEL GAS CODE. PIPE SIZED FOR AN INLET PRESSURE OF 11" IN W.C.I AND A MAXIMUM LENGTH OF 50 LF.
- B 1" POLYETHYLENE PIPE WITH A TRACER WIRE. PIPE MATERIAL TO COMPLY SECTION 403.6 OF THE 2018 NORTH CAROLINA FUEL GAS CODE. PIPE SIZED FOR INLET PRESSURE OF 11" IN W.C. AND MAXIMUM LENGTH OF 50 LF. TRACER WIRE SHALL COMPLY WITH SECTION 404.17.3 OF 2018 NORTH CAROLINA FUEL GAS CODE.
- C 4" SCHEDULE 80 PVC SLEEVE.
- D CONNECTIONS TO BE MADE WITH FLEXIBLE FITTINGS.

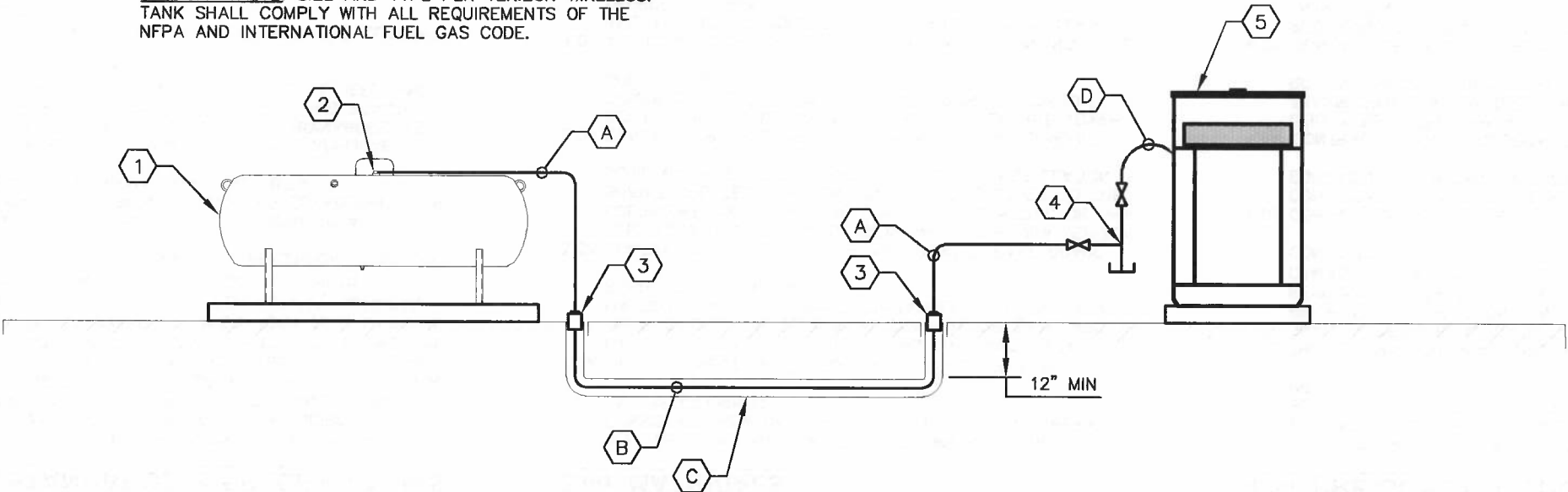
KEY NOTES - EQUIPMENT

- 1 LIQUID PROPANE TANK WITH AN INTEGRAL MANUAL SHUTOFF VALVE. SIZE AND TYPE PER VERIZON WIRELESS. TANK SHALL COMPLY WITH ALL REQUIREMENTS OF THE NFPA AND INTERNATIONAL FUEL GAS CODE.
- 2 FIRST STAGE REGULATOR PER NFPA 58 SECTION 6.8.1.1.
- 3 4" PVC CAP.
- 4 PROPOSED VALVE, DRIP LEG, SECOND STAGE REGULATOR, AND FLEXIBLE CONNECTORS. ALL MATERIALS SHALL BE INSTALLED PER THE 2018 NORTH CAROLINA FUEL GAS CODE.
- 5 PROPOSED LP GENERATOR.

ADDITIONAL NOTES

- 1. UPON COMPLETION OF ASSEMBLY, PIPING SYSTEMS (INCLUDING HOSE) SHALL BE TESTED AND PROVED FREE OF LEAKS IN ACCORDANCE WITH SECTION 406 OF THE 2018 NORTH CAROLINA FUEL GAS CODE.
- 2. GENERATOR SUPPLY LINE UPSTREAM OF SECOND STAGE REGULATOR SIZED FOR 632 THOUSAND BTU AT 30 FEET MAXIMUM PIPING LENGTH. LINES SIZED PER TABLES 402.4(28) AND 402.4(35) OF THE 2018 NORTH CAROLINA FUEL GAS CODE. IF THE INSTALLATION OF THE SERVICE LINE CANNOT BE MADE WITHIN 30 FEET, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO ORDERING MATERIALS TO RECEIVE DIRECTION.
- 3. COORDINATE ALL ROUTING WITH OTHER TRADES SHOWN ON CIVIL AND ELECTRICAL DRAWINGS.
- 4. MINIMUM SEPARATION BETWEEN POINT OF DISCHARGE OF CONTAINER PRESSURE RELIEF VALVE, VENT OF A FIXED MAXIMUM LIQUID LEVEL GAUGE ON A CONTAINER, AND THE CONTAINER FILLING CONNECTION TO EXTERIOR SOURCES SHALL BE NO LESS THAN FIVE FEET TO ANY SPARK SOURCE. NOTE THAT THIS SEPARATION IS DETERMINED BY SECTION 6.26.3 OF THE NFPA AND IS ONLY VALID IF A MANUAL SHUT OFF VALVE IS INSTALLED.

LIQUID PROPANE TANK WITH AN INTEGRAL MANUAL SHUTOFF VALVE. SIZE AND TYPE PER VERIZON WIRELESS. TANK SHALL COMPLY WITH ALL REQUIREMENTS OF THE NFPA AND INTERNATIONAL FUEL GAS CODE.



1 MECHANICAL PLAN AND NOTES
M1 NOT TO SCALE

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8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
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MOORE COUNTY

PLANS PREPARED BY:

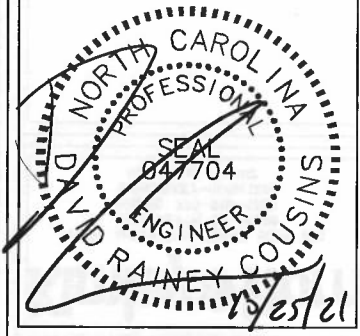
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013509278

DRAWN BY: CHECKED BY:

JAR DMF

SHEET TITLE:

MECHANICAL PLAN
& NOTES

SHEET NUMBER:

M1

ELECTRICAL NOTES

1.00 CODES, STANDARDS, & SPECIFICATIONS

- 1.01 IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL MATERIALS AND LABOR RELATED DIRECTLY OR INDIRECTLY TO ALL ELECTRICAL WORK DOCUMENTED IN THESE DRAWINGS SHALL BE PROVIDED AND PERFORMED IN CONFORMANCE WITH ALL CURRENT GOVERNING CODES, STANDARDS, AND PROFESSIONAL STANDARD OF CARE TO INCLUDE THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM), UNDERWRITERS LABORATORY (UL), NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA), AMERICAN STANDARDS ASSOCIATION (ASA), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), AND THE NATIONAL ELECTRICAL CODE (NEC).
- 1.02 MATERIALS SHALL BE NEW AND SHALL CONFORM TO ALL APPLICABLE CURRENT GOVERNING STANDARDS ESTABLISHED FOR EACH ITEM BY ASTM, UL, NEMA, ASA, AND NFPA.
- 1.03 ALL ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, COUNTY, AND MUNICIPAL CODES AND ORDINANCES, AS WELL AS ALL CURRENT GOVERNING STANDARDS AND PRACTICES AS REQUIRED BY NEC, NEMA, ANSI, NFPA, UBC, UL, IEEE, AND THE LOCAL UTILITY COMPANY.
- 1.04 ALL ELECTRICAL GROUNDING SHALL COMPLY WITH THE CURRENT EDITION OF THE NEC.
- 1.05 CONTRACTOR SHALL MAINTAIN UL LISTED FIRE RATINGS AT ALL WALL PENETRATIONS.
- 1.06 CONTRACTOR SHALL MAINTAIN A MINIMUM CLEARANCE OF 36" IN FRONT OF ALL ELECTRICAL EQUIPMENT AS REQUIRED BY NEC. MINIMUM CLEARANCE SHALL BE OBSERVED FOR BOTH THE FRONT AND THE REAR OF THE METER H-FRAME RACK AND THE EQUIPMENT H-FRAME RACK.

2.00 GENERAL

- 2.01 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND ASSOCIATED FEES RELATED TO THE PROJECT AND SHALL DELIVER A COPY OF ALL PERMITS TO THE VERIZON REPRESENTATIVE.
- 2.02 CONTRACTOR SHALL SCHEDULE AND SHOULD ATTEND ALL INSPECTIONS REQUIRED BY THE JURISDICTION HAVING AUTHORITY.
- 2.03 CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, ACCESSORIES, ETC., FOR A COMPLETE WORKING ELECTRICAL INSTALLATION.
- 2.04 ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH APPLICABLE BUILDING CODES AND LOCAL ORDINANCES, INSTALLED IN A NEAT MANNER, AND SHALL BE SUBJECT TO APPROVAL BY THE ENGINEER.
- 2.05 CONTRACTOR SHALL PROTECT ADJACENT EQUIPMENT AND FINISHES FROM DAMAGE AND SHALL REPAIR TO ORIGINAL CONDITION ANY ITEMS DAMAGED AS A RESULT OF THE WORK.
- 2.06 CONTRACTOR SHALL REPAIR ANY LANDSCAPING DISTURBED DURING CONSTRUCTION.
- 2.07 IF CONDUIT RUNS HAVE MORE THAN THREE (3) CONSECUTIVE 90 DEGREE TURNS, THE CONTRACTOR SHALL INSTALL PULL BOXES AS REQUIRED BY NEC.
- 2.08 CONTRACTOR SHALL INDICATE THE LOCATION OF ALL CAPPED UNDERGROUND SPARE CONDUIT ON THE RECORD DRAWINGS SUBMITTED TO THE OWNER.
- 2.09 CONTRACTOR SHALL COORDINATE EXACT ROUTING OF CONDUIT WITH OWNER. ALL CONDUIT SHALL BE ROUTED WITHIN 3 FEET, EITHER SIDE, OF PERIMETER FENCING.

3.00 MATERIALS

- 3.01 ALL EQUIPMENT AND MATERIALS SHOWN SHALL BE CONSIDERED NEW UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.
- 3.02 FINAL CONNECTIONS OF EQUIPMENT SHALL BE PER MANUFACTURER'S APPROVED WIRING DIAGRAMS, DETAILS, AND INSTRUCTIONS. THE ELECTRICAL CONTRACTOR SHALL PROVIDE MATERIALS AND EQUIPMENT COMPATIBLE WITH EQUIPMENT SUPPLIED BY VERIZON.
- 3.03 CONTRACTOR SHALL PROVIDE AN UPDATED PANELBOARD DIRECTORY FOR THE PANEL FROM WHICH THE NEW VERIZON EQUIPMENT CIRCUIT WILL BE CONNECTED. CONTRACTOR SHALL SUBMIT UPDATED DIRECTORY IN A PLASTIC COVER TO THE BUILDING OWNER FOR APPROVAL PRIOR TO INSTALLATION.
- 3.04 CONTRACTOR SHALL FIELD DETERMINE ACTUAL CONDUIT ROUTING AND SHALL OBTAIN APPROVAL FROM THE TOWER OWNER OF THE PROPOSED ROUTING PRIOR TO CONDUIT INSTALLATION.
- 3.05 ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION AND ALL TERMINATIONS SHALL BE RATED FOR AT LEAST 75 DEGREES CELSIUS.
- 3.06 ALL NEUTRAL CONDUCTORS SHALL HAVE WHITE INSULATION. ALL GROUND CONDUCTORS SHALL HAVE GREEN INSULATION. COLOR TAPE IDENTIFICATION OF THESE CONDUCTORS IS NOT PERMITTED.
- 3.07 CONTRACTOR SHALL SEAL ALL CONDUITS ENTERING AN ENCLOSURE WITH CONDUIT SEALANT THAT IS COMPATIBLE WITH THE INSULATION OF THE CONDUCTORS IN THE CONDUIT.
- 3.08 CONDUIT RUNS SHALL HAVE A CONTINUOUS DOWNWARD SLOPE AWAY FROM ALL EQUIPMENT TO PREVENT WATER INFILTRATION.
- 3.09 ALL CONDUIT SHALL BE SCHEDULE 40 PVC UNLESS NOTED OTHERWISE ON THE PLANS. WHEN CONDUIT IS ROUTED UNDER A ROADWAY, SCHEDULE 80 PVC CONDUIT SHALL BE UTILIZED. MANUFACTURED BEND RADII SHALL BE PER NEC.
- 3.10 CONTRACTOR SHALL PROVIDE TWO (2) 200 POUND TEST POLYETHYLENE PULL CORDS IN ALL CONDUITS AND ALL INNERDUCTS. PULL CORDS SHALL BE SECURED AT EACH END OF CONDUIT RUNS. ALL SPARE CONDUIT ENDS SHALL BE CAPPED WITH MANUFACTURED PVC FITTINGS.
- 3.11 CONTRACTOR SHALL BOND EACH METALLIC CONDUIT ENTERING A METALLIC ENCLOSURE WITH A #8 MIN AWG INSULATED COPPER BONDING JUMPER PER NEC. CONTRACTOR SHALL BOND ALL ELECTRICAL EQUIPMENT TO THE H-FRAME RACK ON WHICH EQUIPMENT IS MOUNTED WITH #8 MIN AWG INSULATED COPPER BONDING JUMPERS PER NEC.
- 3.12 CONTRACTOR SHALL IDENTIFY THE END OF ALL SPARE UNDERGROUND CONDUITS AND PROVIDE AND INSTALL 90 DEGREE ELBOWS WITH VERTICAL CONDUIT EXTENSIONS TO EXTEND 3" ABOVE FINISHED CRUSHED AGGREGATE GRADE. CONTRACTOR SHALL TERMINATE CONDUITS WITH MANUFACTURED CONDUIT CAPS THAT THE CONTRACTOR HAS PAINTED ORANGE.
- 3.13 CONTRACTOR SHALL PROVIDE AND INSTALL AN ENGRAVED PHENOLIC PLATE ON THE FRONT OF THE INTEGRATED LOAD CENTER. THE WORDING ON THE PLATE SHALL READ AS FOLLOWS: "MAXIMUM DRAW OF ALL RECTIFIERS AND EQUIPMENT ON THE LOAD CENTER CANNOT EXCEED 50kW. IF ADDITIONAL POWER IS REQUIRED, THE EXISTING 50kW GENERATOR MUST BE REPLACED."

4.00 PRE-CONSTRUCTION COORDINATION

- 4.01 CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID AND NOTE EXISTING CONDITIONS THAT MIGHT AFFECT THEIR WORK. ALL SUCH CONDITIONS SHALL BE REPORTED TO THE ENGINEER PRIOR TO BID.
- 4.02 THE CONTRACTOR SHALL PROVIDE A UTILITY LOCATOR AND SHALL VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 4.03 CONTRACTOR SHALL VERIFY, PRIOR TO ROUGH-IN, THAT SITE CONDITIONS ALLOW FOR THE PLACEMENT OF THE ELECTRICAL EQUIPMENT AS SHOWN ON THE PLANS.
- 4.04 CONTRACTOR SHALL COORDINATE WITH LOCAL ELECTRICAL UTILITY REGARDING THE EXACT LOCATION OF THE TRANSFORMER, ALL METERING REQUIREMENTS, AND CONDUIT ROUTING BETWEEN TRANSFORMER AND METER.
- 4.05 CONTRACTOR SHALL COORDINATE WITH LOCAL TELCO UTILITY REGARDING THE EXACT LOCATION OF THE TELCO SERVICE ENTRY POINT.
- 4.06 CONTRACTOR SHALL COORDINATE WITH AUTHORITY HAVING JURISDICTION REGARDING LOCAL FROST LINE REQUIREMENTS FOR RACEWAY MATERIAL SELECTION AND INSTALLATION.
- 4.07 CONTRACTOR SHALL PERFORM AN ARC FLASH ANALYSIS AT THE INTEGRATED LOAD CENTER AND PROVIDE ARC FLASH LABEL PER NEC.
- 4.08 ALL CIRCUIT BREAKERS AND EQUIPMENT SHALL HAVE A MINIMUM AIC RATING OF 10,000 AMPS. IF THE RATING OF THE UTILITY TRANSFORMER PROVIDING THE ELECTRICAL SERVICE IS GREATER THAN 75 kVA, THE CONTRACTOR SHALL PERFORM A SHORT CIRCUIT ANALYSIS TO DETERMINE THE REQUIRED AIC RATING FOR THE CIRCUIT BREAKERS AND EQUIPMENT. PRIOR TO PURCHASING EQUIPMENT, THE CONTRACTOR SHALL CONTACT THE ELECTRIC UTILITY AND OBTAIN IN WRITING THE MAXIMUM AVAILABLE FAULT CURRENT (AFC) AT THE UTILITY SERVICE POINT. PROVIDE MAX. AFC SIGNAGE AS REQUIRED PER NEC 110.24. THE CONTRACTOR SHALL ENSURE ALL ELECTRICAL EQUIPMENT, CIRCUIT BREAKERS, DISCONNECTS, FUSES, AND PANELBOARDS HAVE A FAULT CURRENT INTERRUPTING RATING GREATER THAN THE AVAILABLE FAULT CURRENT.

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PROJECT INFORMATION:

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SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
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MOORE COUNTY

PLANS PREPARED BY:

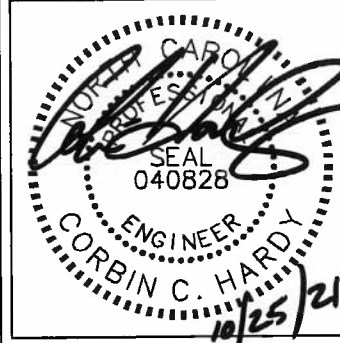
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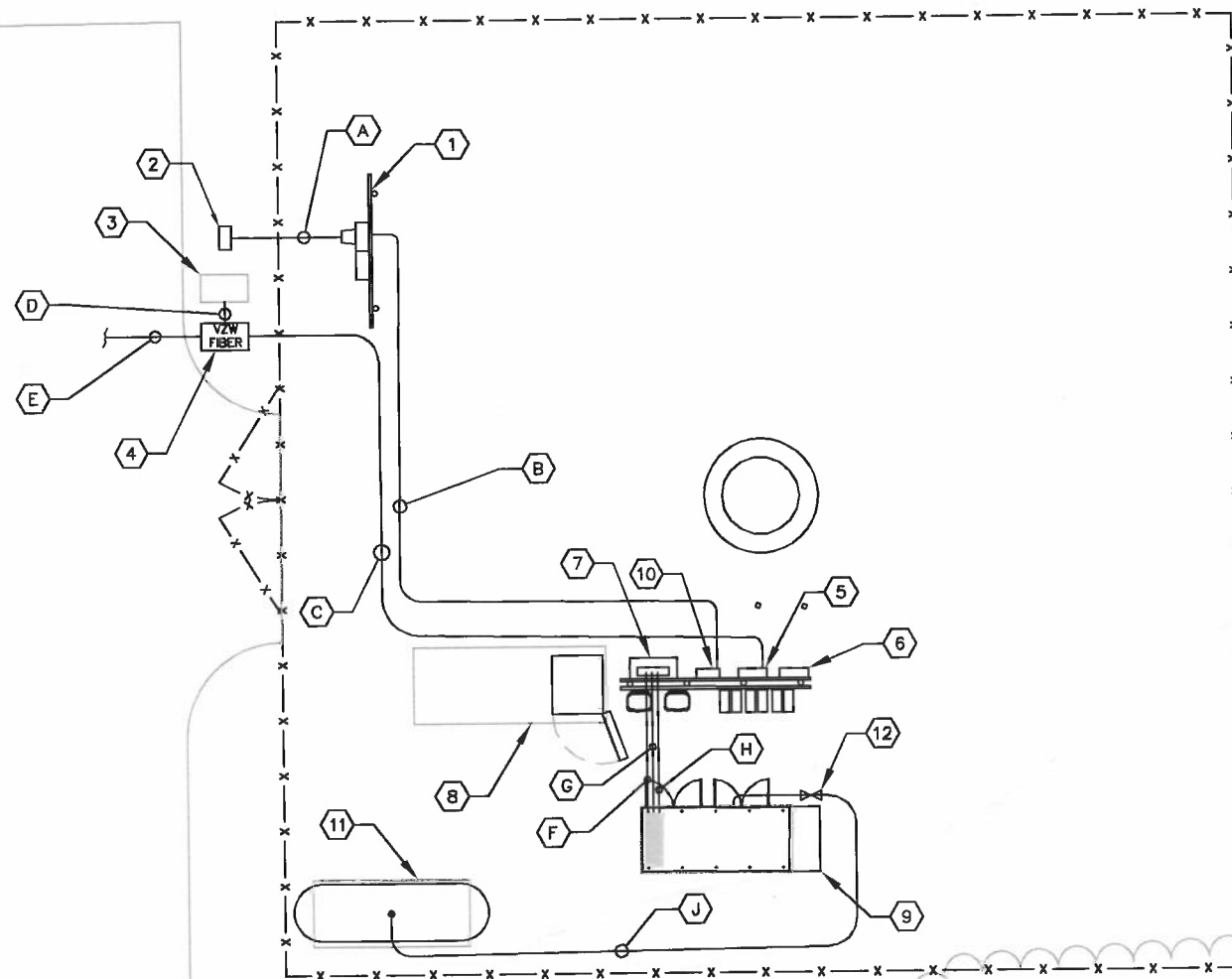
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ELECTRICAL
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1
E2
UTILITY SERVICE ROUTING PLAN
SCALE: 1" = 10'

KEY NOTES - ELECTRICAL EQUIPMENT

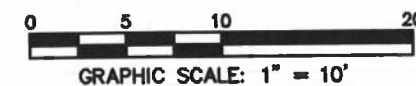
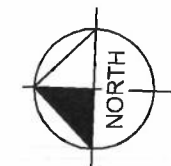
- 1 UTILITY METER H-FRAME (SEE DETAIL 1/E4).
- 2 POWER STUB UP (SEE NOTE 4.04 ON SHEET E1).
- 3 EXISTING LIT FIBER HANDHOLE/PEDESTAL. (CONTRACTOR TO CONFIRM EXISTENCE AND LOCATION).
- 4 TRAFFIC RATED TELCO VAULT LABELED "VZW FIBER". (SEE NOTE 4.05 ON SHEET E1)
- 5 TELCO BOX (SEE SHEET C4).
- 6 CIENA UNIT, IF NEEDED (SEE SHEET C4).
- 7 INTEGRATED LOAD CENTER (SEE SHEET C4).
- 8 VERIZON CONCRETE EQUIPMENT PAD (SEE SHEET C6).
- 9 VERIZON CONCRETE GENERATOR PAD (SEE SHEET C6).
- 10 DISCONNECT SWITCH (SEE SHEET C4).
- 11 VERIZON CONCRETE PROPANE TANK PAD. (SEE SHEET C6)
- 12 SHUT OFF VALVE. (SEE SHEET M1)

KEY NOTES - CONDUIT, CONDUCTORS, & MISC.

- A TWO (2) 4" PVC POWER CONDUITS FOR INCOMING SERVICE LATERALS FROM LOCAL UTILITY (SEE TRENCH DETAIL 2/E7).
- B 2" PVC POWER CONDUIT FROM PROPOSED METER RACK TO EQUIPMENT RACK (SEE TRENCH DETAIL 2/E7).
- C TWO (2) 2" PVC TELCO CONDUITS, WITH TWO (2) PULL ROPES EACH (SEE TRENCH DETAIL 2/E7).
- D 4" PVC BRIDGE FIBER CONDUIT. (IF NO EXISTING LIT FIBER HANDHOLE/PEDESTAL IS PRESENT CONTRACTOR TO PROVIDER A 5' LONG CAPPED STUB BRIDGE CONDUIT).
- E TWO (2) 2" PVC CONDUITS FROM RIGHT OF WAY W/TWO (2) PULL ROPES (SEE TRENCH DETAIL 2/E7 AND SHEET E3).
- F 2" PVC CONDUIT FOR ROUTING POWER CONDUCTOR TO THE GENERATOR. (SEE TRENCH DETAIL 2/E7).
- G 1" PVC CONDUIT FOR ROUTING GENERATOR CONTROL AND ALARM SIGNAL CABLES TO THE GENERATOR (SEE TRENCH DETAIL 2/E7).
- H 1" PVC CONDUIT FOR ROUTING POWER CONDUCTOR TO THE GENERATOR BATTERY CHARGER AND THE GENERATOR BLOCK HEATER (SEE TRENCH DETAIL 2/E7).
- J PROPANE SERVICE LINE. (SEE SHEET M1)

NOTES:

GENERAL CONTRACTOR IS TO CONFIRM WITH VERIZON CONSTRUCTION MANAGER WHETHER INSTALLATION OF THE TWO (2) 2" CONDUITS TO THE RIGHT OF WAY WILL BE PART OF THE INITIAL CONSTRUCTION.



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8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

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SITE No.: 431713
PROJECT #: N/A
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MOORE COUNTY

PLANS PREPARED BY:

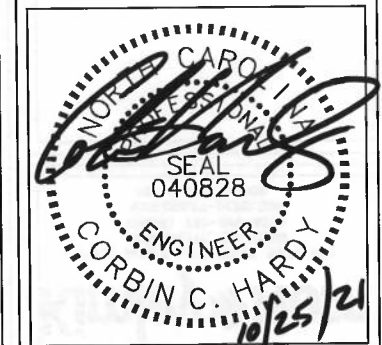
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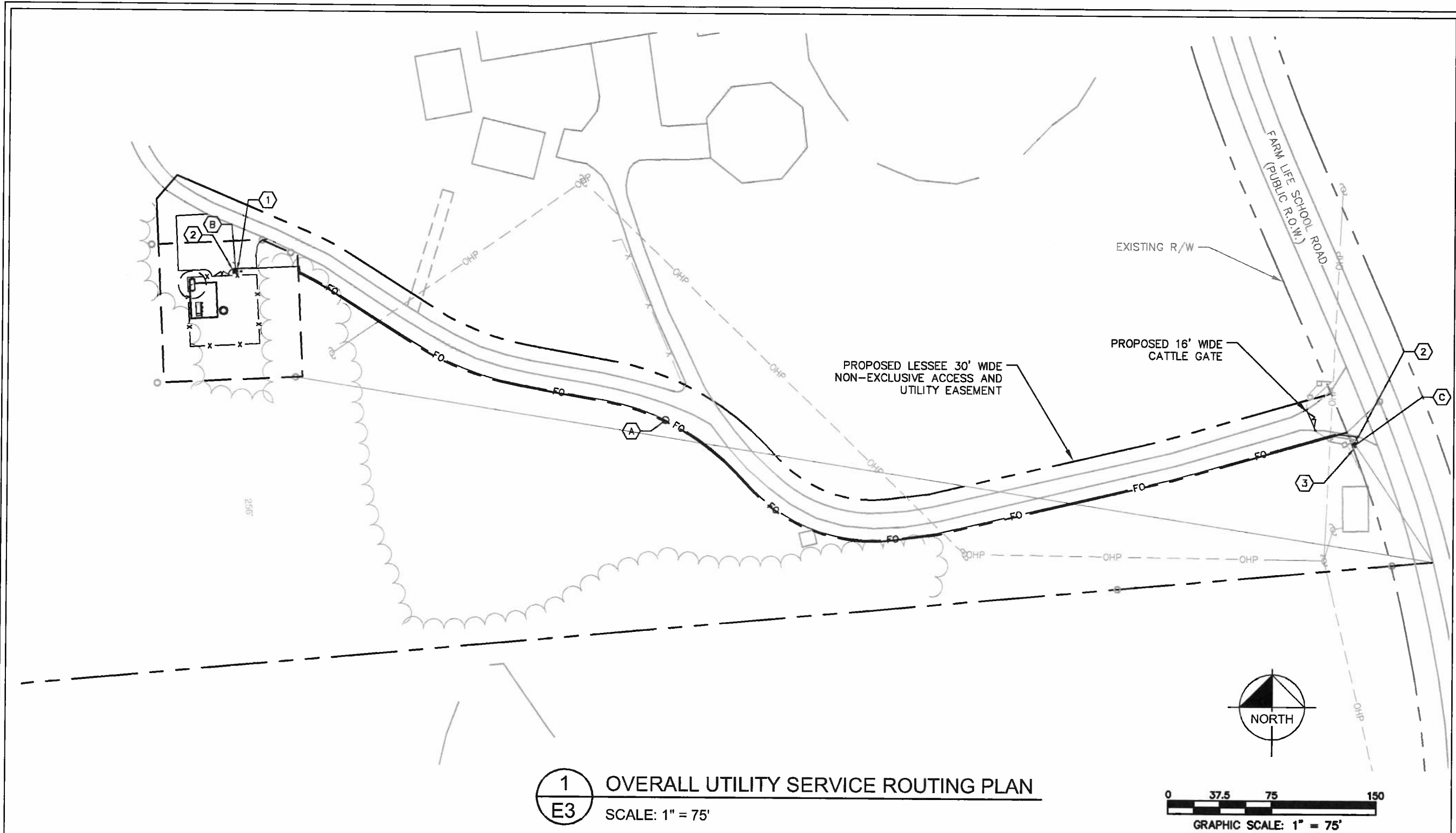
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UTILITY SERVICE
ROUTING PLAN

SHEET NUMBER:

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1 OVERALL UTILITY SERVICE ROUTING PLAN
E3 SCALE: 1" = 75'

KEY NOTES - ELECTRICAL EQUIPMENT

- 1 EXISTING LIT-FIBER HANDHOLE/PEDESTAL.
- 2 TRAFFIC RATED TELCO VAULT LABELED "VZW FIBER". (SPACED EVERY 500', AT MAJOR TRANSITIONS, AND AS NEEDED TO ALLOW DAR FIBER TO BE PULLED)(SEE NOTE 4.05 ON SHEET E1)
- 3 EXISTING ONE FIBER HANDHOLE (CONTRACTOR TO CONFIRM EXISTENCE AND LOCATION)

KEY NOTES - CONDUIT, CONDUCTORS, & MISC.

- A TWO (2) 2" PVC CONDUIT FOR "VZW FIBER" WITH TWO (2) PULL ROPES. (SEE DETAIL 2/E6); (APPROXIMATELY 918± LF); GENERAL CONTRACTOR TO CONFIRM NEED FOR CONDUITS TO RIGHT OF WAY AND HANDHOLE AT RIGHT OF WAY WITH VERIZON CONSTRUCTION MANAGER.
- B 4" PVC BRIDGE FIBER CONDUIT. (IF NO EXISTING LIT FIBER HANDHOLE/PEDESTAL IS PRESENT CONTRACTOR TO PROVIDER A 5' LONG CAPPED STUB BRIDGE CONDUIT).
- C 4" PVC BRIDGE FIBER CONDUIT. (IF NO EXISTING ONE FIBER HANDHOLE IS PRESENT, BRIDGE CONDUIT WILL BE BY OTHERS)

NOTES:

GENERAL CONTRACTOR IS TO CONFIRM WITH VERIZON CONSTRUCTION MANAGER WHETHER INSTALLATION OF THE TWO (2) 2" CONDUITS TO THE RIGHT OF WAY WILL BE PART OF THE INITIAL CONSTRUCTION.

PROPOSED VERIZON TELCO VAULT WITHIN RIGHT OF WAY LOCATED APPROXIMATELY 35' 18" 29.41"N, 79' 21' 09.28"W BASED ON GOOGLE EARTH IMAGERY.

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CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
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MOORE COUNTY

PLANS PREPARED BY:

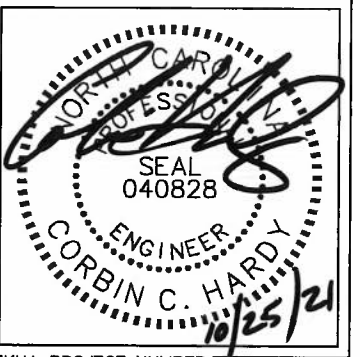
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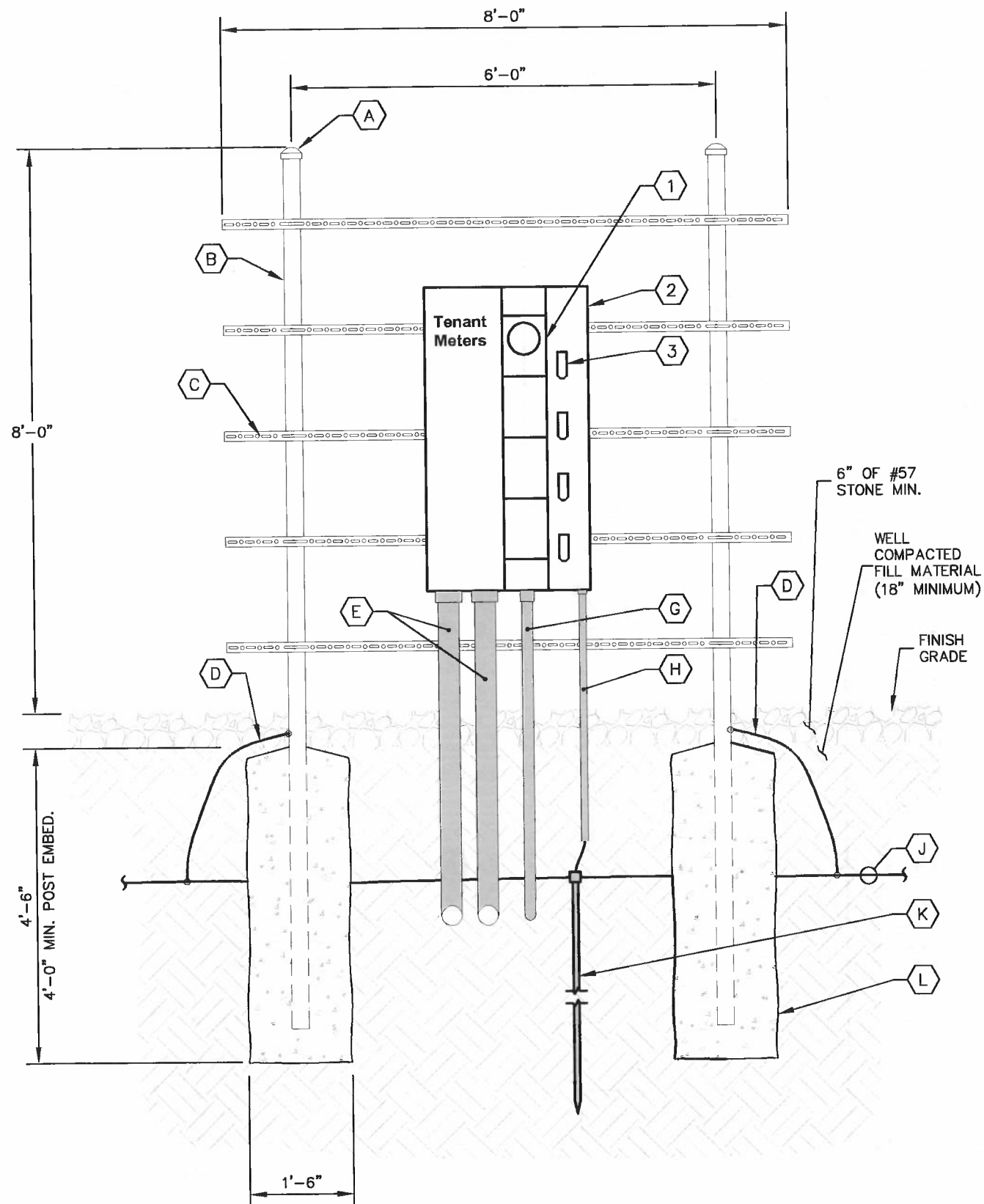
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**OVERALL UTILITY
ROUTING PLAN**

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1 METER RACK DETAILS
E4 NOT TO SCALE

KEY NOTES - CONDUIT, CONDUCTORS, & MISC

- (A) GALVANIZED RIGID STEEL CAP, TYPICAL.
- (B) 3" GALVANIZED RIGID STEEL PIPE, TYPICAL.
- (C) 1 5/8" x 1 5/8" GALVANIZED STEEL CHANNEL (UNISTRUT #P1000 OR APPROVED EQUIVALENT) WITH PLASTIC END CAP (UNISTRUT #P2860), TYPICAL.
- (D) ONE (1) #2 AWG BARE SOLID TINNED COPPER BONDING CONDUCTORS (BC) FROM H-FRAME VERTICAL PIPE TO GROUND RING, EXOTHERMIC WELD BOTH ENDS.
- (E) 4" PVC CONDUIT FOR INCOMING SERVICE LATERALS FROM LOCAL UTILITY, TYPICAL OF 2.
- (F) KEYNOTE NOT USED.
- (G) 2" PVC CONDUIT FOR ROUTING FEEDERS TO NON-FUSED DISCONNECT SWITCH.
- (H) 3/4" PVC CONDUIT WITH ONE (1) - 2/0 BARE STRANDED TINNED COPPER GROUNDING ELECTRODE CONDUCTOR (GEC) FROM GROUNDING LUG TO GROUND ROD, EXOTHERMIC WELD GEC TO GROUND ROD.
- (J) GROUND RING (SEE "E" SHEETS).
- (K) GROUND ROD, EXOTHERMIC WELD TO GROUND RING. (SEE "E" SHEETS).
- (L) CONCRETE FOUNDATION FOR H-FRAME VERTICAL PIPE. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI. AND INCLUDE FIBERMESH 650-3E.

KEY NOTES - ELECTRICAL EQUIPMENT

- 1 200 AMP METER SOCKET IN NEMA 3R ENCLOSURE, TYPICAL OF 4. ONLY TOP SOCKET WILL RECEIVE METER UNDER THIS CONTRACT.
- 2 800 AMP, 22KAIC, 4 GANG, SERVICE ENTRANCE RATED METER CENTER IN NEMA 3R ENCLOSURE. BOND TO RACK PER NEC.
- 3 200 AMP, 2 POLE (22KAIC) DISCONNECT CIRCUIT BREAKER FOR TOP METER ONLY. CONTRACTOR SHALL MOUNT THE METER CENTER SUCH THAT THE TOP CIRCUIT BREAKER IS NO MORE THAN 6' ABOVE GRADE.

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8921 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

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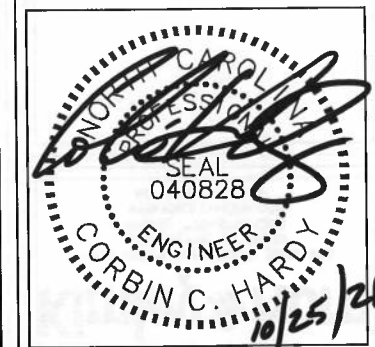
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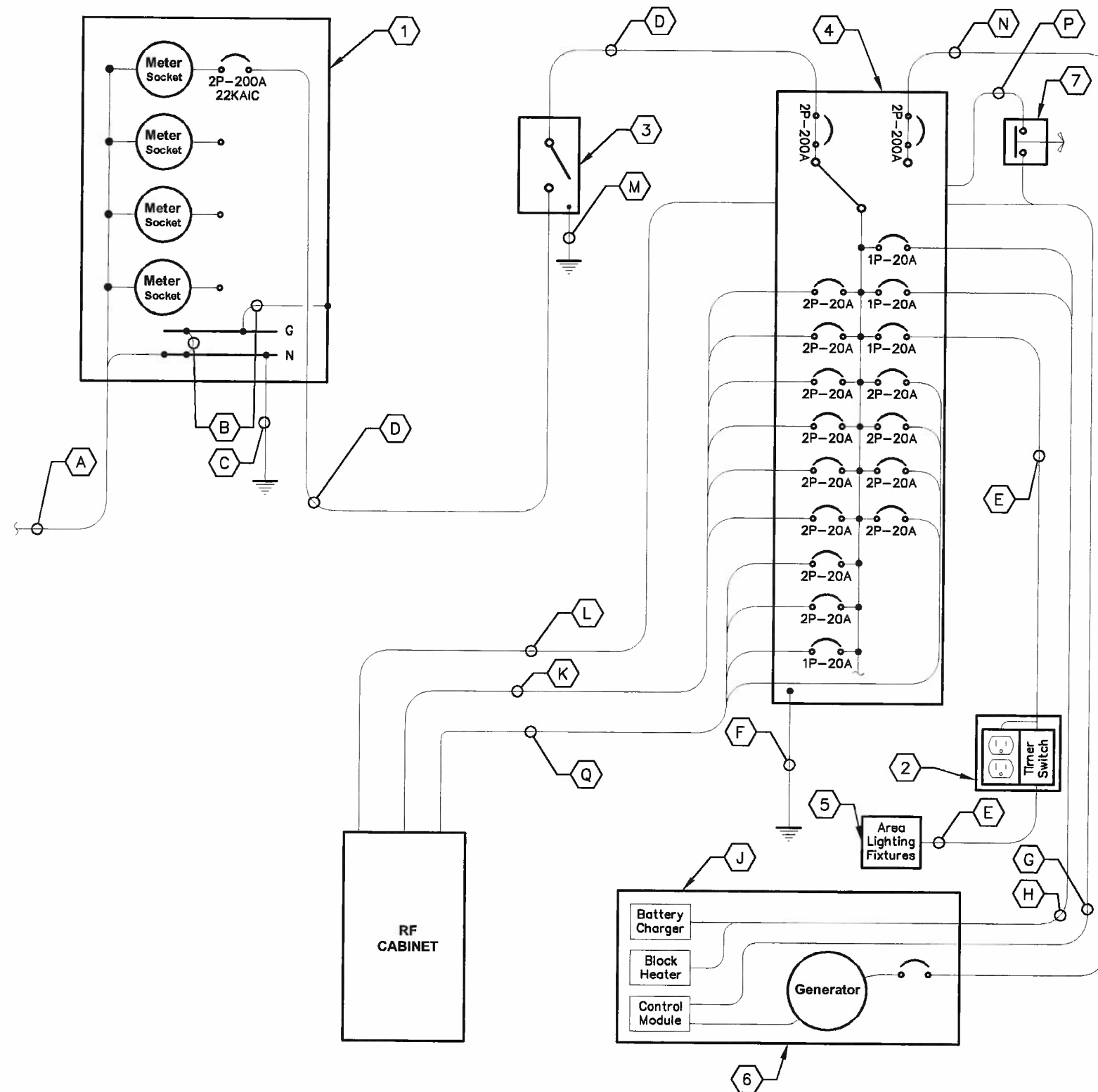
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METER RACK
DETAILS

SHEET NUMBER:

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**REQUIRED SIGNAGE PER NEC 702 AT SERVICE DISCONNECT**

"WARNING: Shock hazard exists if grounding electrode conductor or bonding jumper connection in this equipment is removed while alternate source(s) is energized. Opening the equipment disconnect will cause the stand-by generator to start. To remove power entirely from the equipment, the generator must be turned OFF using emergency stop switch."

REQUIRED SIGNAGE PER NEC 702 AT SERVICE DISCONNECT & INTEGRATED LOAD CENTER

"NOTE: Emergency power is supplied by a stand-by generator located behind Verizon equipment rack."

1 ELECTRICAL SINGLE LINE DIAGRAM

E5 NOT TO SCALE

KEY NOTES - CONDUIT, CONDUCTORS, & MISC

- A TWO (2) 4" CONDUITS BY CONTRACTOR FOR INCOMING SERVICE LATERALS BY LOCAL UTILITY FOR 800 AMP, 120/240 VOLT SINGLE PHASE SERVICE.
- B BOND GROUND BUS TO NEUTRAL BUS AND GROUND BUS TO ENCLOSURE WITH 2/0 BONDING JUMPERS.
- C ONE (1) 2/0 BARE STRANDED TINNED COPPER GEC TO GROUND ROD, EXOTHERMIC WELD GEC TO GROUND ROD.
- D THREE (3) 3/0 CONDUCTORS AND ONE (1) #6 AWG GROUND IN 2" CONDUIT.
- E TWO (2) #12 AWG CONDUCTORS AND ONE (1) #12 AWG GROUND IN 1" CONDUIT.
- F ONE (1) #2 BARE TINNED COPPER FROM GROUNDING LUG IN ILC TO GROUND ROD, EXOTHERMIC WELD TO GROUND ROD.
- G AUTOMATIC TRANSFER SWITCH ALARM AND GENERATOR CONTROL CABLES IN 1" CONDUIT.
- H FOUR (4) #12 CONDUCTORS AND ONE (1) #12 AWG GROUND IN 1" CONDUIT.
- J THE GENERATOR, WHEN UTILIZING A TWO POLE ATS WITH A SOLID NEUTRAL, IS NOT A SEPARATELY DERIVED SYSTEM. THEREFORE, DO NOT BOND THE NEUTRAL TO THE GROUND AT THE GENERATOR.
- K TWELVE (12) #10 AWG THHN CONDUCTORS AND THREE (3) #10 AWG EG IN 2" PVC CONDUIT.
- L ALARM CABLES IN 1" PVC CONDUIT.
- M ONE (1) - #2 BARE TINNED COPPER FROM GROUNDING LUG IN DISCONNECT SWITCH TO GROUND RING, EXOTHERMIC WELD TO GROUND RING.
- N THREE (3) 3/0 AWG CONDUCTORS AND ONE (1) #4 AWG EG IN 2" CONDUIT. VERIFY GENERATOR BREAKER DOES NOT EXCEED 200 AMPS.
- P 1" PVC CONDUIT FOR ROUTING POWER CONDUCTORS FROM THE ILC TO THE EMERGENCY GENERATOR STOP SWITCH.
- Q TWELVE (12) #10 AWG THHN CONDUCTORS AND THREE (3) #10 AWG. FOR RECTIFIERS AND TWO (2) #10 THHN CONDUCTORS AND ONE (1) #10 AWG FOR CABINET MOUNTED GFI OUTLET, ALL IN ONE 2" PVC CONDUIT.

KEY NOTES - ELECTRICAL EQUIPMENT

- 1 FURNISH AND INSTALL 800 AMP, 3-WIRE, SINGLE PHASE, 120/240 VOLT, 22KAIC, FOUR-SPACE MULTI-GANG METER CENTER WITH 200 AMP RATED METER SOCKETS IN NEMA 3R ENCLOSURE, SE RATED. CONTRACTOR SHALL FURNISH AND INSTALL 200 AMP CIRCUIT BREAKER AT METER BASE IF NOT ALREADY EXISTING.
- 2 20 AMP GFCI DUPLEX OUTLET RECEPTACLE AND TIMER SWITCH, ENERLITES HET06 SERIES (OR APPROVED EQUIVALENT) IN LOCKABLE NEMA 3R ENCLOSURE.
- 3 FURNISH AND INSTALL SE RATED 240 V, 200 AMP, 2 POLE, NON-FUSED DISCONNECT IN NEMA 3R ENCLOSURE.
- 4 200 AMP, 120/240 VOLT, ILC WITH 42 SPACE PANEL AND AUTOMATIC TRANSFER SWITCH. ALL CIRCUIT BREAKERS SHALL BE RATED 10KAIC MINIMUM. ILC IS FURNISHED BY VZW AND INSTALLED BY GENERAL CONTRACTOR.
- 5 FURNISH AND INSTALL TWO (2) AREA LIGHTS, (LITHONIA HFR-250M-TA120-DNA-LP1), (OR APPROVED EQUIVALENT).
- 6 50 KW DIESEL GENERATOR, CONTRACTOR SHALL COORDINATE SPECIFIC GENERATOR CONFIGURATION WITH OWNER AND INSTALL THE GENERATOR IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. GENERATOR BREAKER SIZED AND PROVIDED BY GENERATOR MANUFACTURER.
- 7 EMERGENCY GENERATOR STOP SWITCH IN NEMA 3R ENCLOSURE WILL BE FURNISHED BY VERIZON AND INSTALLED BY GC.

verizon8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262**PROJECT INFORMATION:**

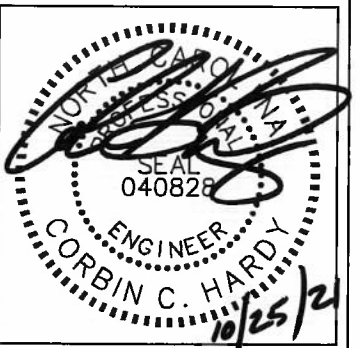
SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

PLANS PREPARED BY:**Kimley»Horn**11720 AMBER PARK DRIVE, SUITE 600
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LICENSER:



KHA PROJECT NUMBER:

013509278

DRAWN BY: CHECKED BY:

JAR

DMF

SHEET TITLE:

**ELECTRICAL
SINGLE LINE
DIAGRAM**

SHEET NUMBER:

E5

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PANEL SCHEDULE - VERIZON INTEGRATED LOAD CENTER											
Voltage: 240/120 Volts Phase, Wires: Single Phase, 3 Wire Mounting Type: Surface Enclosure Type: NEMA 3R						MCB Size: 200 Amps AIC Rating: 10,000 Amps min Bus Rating: 200 Amps Neutral Rating: 100%					
Load Served	Load (kVA)		Circuit Bkr Size	Ckt Nbr	Phase A B	Ckt Nbr	Circuit Bkr Size	Load (kVA)		Load Served	
	A	B						A	B		
RECTIFIER 1	1.78		2P-20	1		2	1P-20	0.58		AREA LIGHTS/GFCI	
		1.78		3		4	1P-20		1.50	GEN BLOCK HEATER	
RECTIFIER 2	1.78		2P-20	5		6	1P-20	0.30		GEN BATTERY CHARGER	
		1.78		7		8	-----		0.00	SPACE	
RECTIFIER 3	1.78		2P-20	9		10	1P-20	0.18		CAB DUPLEX OUTLET	
		1.78		11		12	-----		0.00	SPACE	
RECTIFIER 4	1.78		2P-20	13		14	2P-20	1.78		RECTIFIER 9	
		1.78		15		16			1.78		
RECTIFIER 5	1.78		2P-20	17		18	2P-20	1.78		RECTIFIER 10	
		1.78		19		20			1.78		
RECTIFIER 6	1.78		2P-20	21		22	2P-20	0.00		RECTIFIER 11 (SPARE)	
		1.78		23		24			0.00		
RECTIFIER 7	1.78		2P-20	25		26	2P-20	0.00		RECTIFIER 12 (SPARE)	
		1.78		27		28			0.00		
RECTIFIER 8	1.78		2P-20	29		30	-----	0.00		SPACE	
		1.78		31		32	-----		0.00	SPACE	
SPACE	0.00		-----	33		34	-----	0.00		SPACE	
SPACE		0.00	-----	35		36	-----		0.00	SPACE	
SPACE	0.00		-----	37		38	-----	0.00		SPACE	
TVSS (INTERNAL TO ILC)		0.00	2P-30	39		40	-----		0.00	SPACE	
	0.00			41		42	-----	0.00		SPACE	
Sub-Total (kVA)	14.24	14.24						4.62	5.06	Sub-Total (kVA)	
								A	B	Total Connected (kVA)	
								18.86	19.30		
								38.16			
LOAD SUMMARY											
Load Description		Connected Load (kVA)		Demand Factor	Demand Load (kVA)						
		A	B		A	B					
RECTIFIERS/EQUIP		17.80	17.80	1.00	17.80	17.80					
LARGEST MOTOR		0.00	0.00	1.00	0.00	0.00					
ALL OTHER MOTORS		0.00	0.00	1.00	0.00	0.00					
LIGHTING		0.40	0.00	1.25	0.50	0.00					
DUPLEX RECEPTACLES		0.36	0.00	1.00	0.36	0.00					
TOTAL MISCELLANEOUS		0.30	1.50	1.00	0.30	1.50					
Total Power per Phase						18.96	19.30	kVA			
Total Demand Current per Phase						158.00	161.00	Amps			
Total Demand Power						38.26		kVA			

*NOTE: CIRCUIT LOAD AND DEMAND FACTOR PROVIDED BY VERIZON.

1

E6

PANEL SCHEDULE

NOT TO SCALE

verizon

8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
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LICENSER:

NORTH CAROLINA
Professional Engineer
SEAL
040828
CORBIN C. HARDY
10/25/21

KHA PROJECT NUMBER:
013509278

DRAWN BY: JAR CHECKED BY: DMF

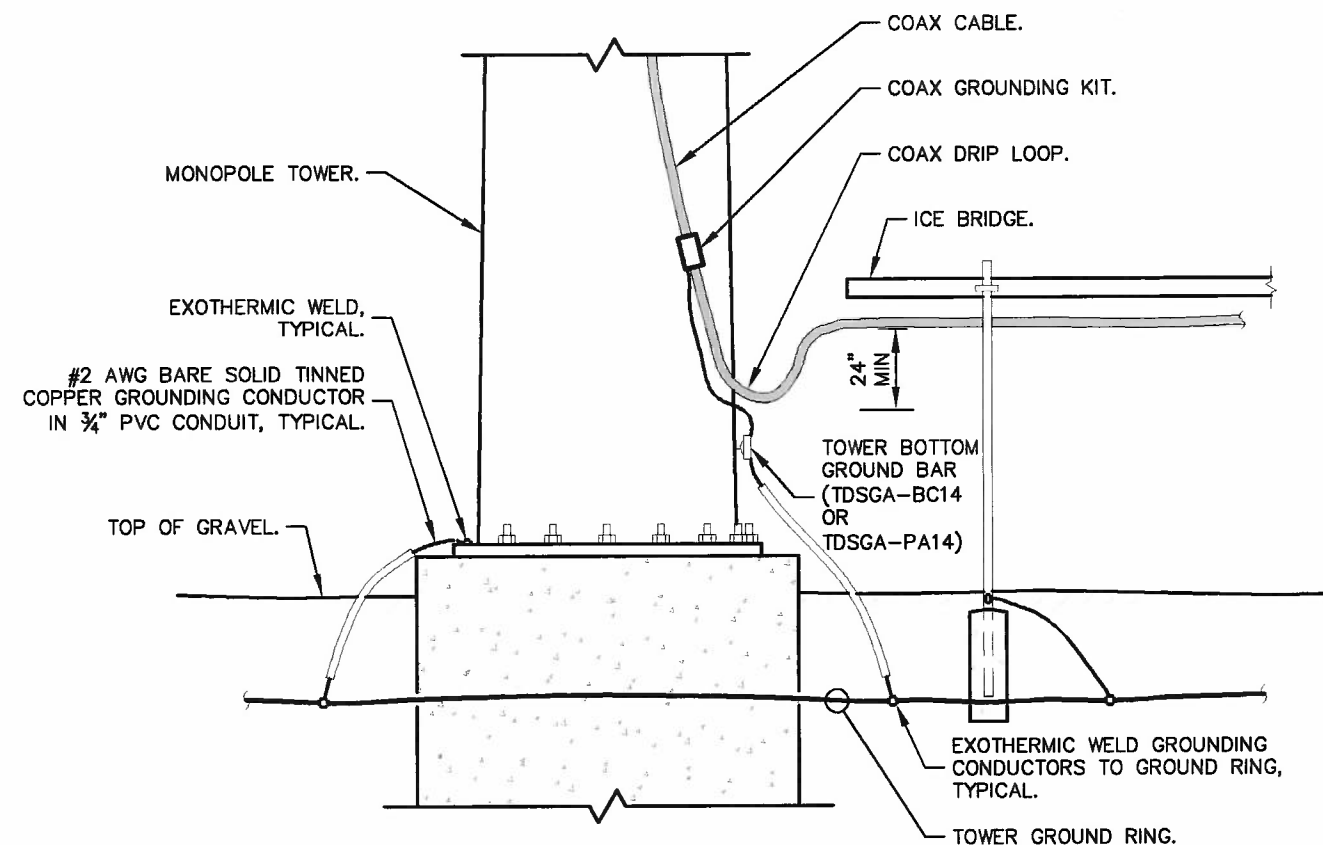
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PANEL SCHEDULE

SHEET NUMBER:
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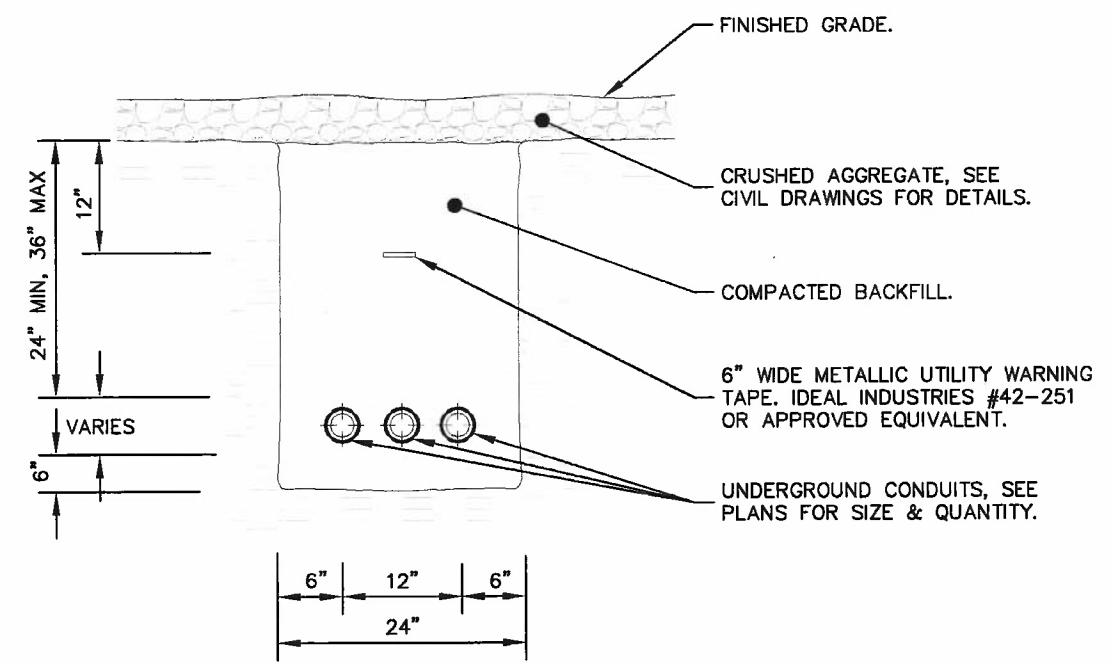
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1 DRIP LOOP DETAIL
E7 NOT TO SCALE



- NOTES:
1. IF GROUND SURFACE IS OTHER THAN NEWLY GRAVELED AREA. CONTRACTOR IS TO RESTORE TO ORIGINAL CONDITION.
 2. PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED BELOW.
 3. PROVIDE SCHEDULE 40 OR SCHEDULE 80 PVC CONDUIT & ELBOWS AT STUB UP LOCATIONS (I.E. POLES, EQUIPMENT, ETC.)
 4. PROVIDE SCHEDULE 80 PVC CONDUIT BELOW PARKING LOTS AND ROADWAYS.

2 TYPICAL TRENCH DETAIL
E7 NOT TO SCALE



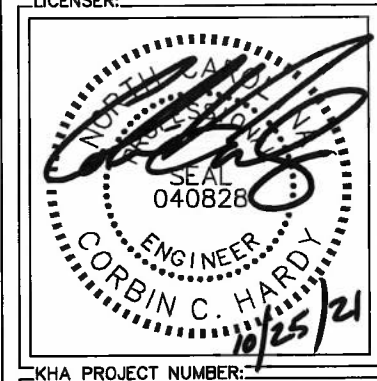
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SHEET TITLE:
**ELECTRICAL
DETAILS**

SHEET NUMBER:
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GROUNDING NOTES

1. THE GROUND RING SHALL CONSIST OF #2 AWG BARE SOLID TINNED COPPER (STC) CONDUCTOR, UNLESS NOTED OTHERWISE, BURIED AT 30" BELOW FINISHED GRADE (OR BELOW FROST LINE). LOCATE 24" MINIMUM AND 36" MAXIMUM FROM EQUIPMENT AREA AND FROM TOWER FOUNDATION. ALL CONNECTIONS SHALL BE MADE USING A PARALLEL TYPE EXOTHERMIC WELD, UNLESS NOTED OTHERWISE.
2. INSTALL GROUND RODS AS SHOWN AND AS REQUIRED. GROUND RODS TO BE COPPER CLAD STEEL, 5/8" DIAMETER AND 10FT IN LENGTH. SPACING BETWEEN GROUND RODS SHALL BE 10FT MINIMUM AND 15FT MAXIMUM. TOP OF GROUND ROD TO BE 30" MINIMUM BELOW GRADE (OR BELOW FROST LINE). BOND TOP OF GROUND ROD TO GROUND WIRE WITH EXOTHERMIC WELD. DO NOT EXOTHERMICALLY WELD ANYTHING TO GROUND ROD EXCEPT GROUND WIRE WHICH PASSES OVER TOP OF GROUND ROD (CLAMPED CONNECTIONS TO GROUND ROD PER TOWER MANUFACTURERS DETAILS ARE ACCEPTABLE).
3. EQUIPMENT GROUND RING SHALL HAVE A MINIMUM OF 4 GROUND RODS, INSTALLED AT THE CORNERS OF THE GROUND RING PLUS ADDITIONAL RODS AS REQUIRED TO COMPLY WITH THE SPACING REQUIREMENTS. TOWER GROUND RING SHALL HAVE A MINIMUM OF 3 GROUND RODS, EXCEPT USE 4 RODS AT A MONOPOLE TOWER. WHERE SPREAD TOWER FOOTING WOULD PREVENT GROUND RODS FROM BEING DRIVEN INTO SOIL ADJACENT TO TOWER, PROVIDE VERTICAL 1" DIAMETER PVC SLEEVES EMBEDDED IN FOOTING TO ALLOW INSTALLATION OF GROUND RODS.
4. EQUIPMENT GROUND RING AND TOWER GROUND RING SHALL BE BONDED TOGETHER WITH TWO #2 STC GROUND LEADS, TYPICALLY ONE ON EACH SIDE OF ICE BRIDGE.
5. BOND TOWER TO TOWER GROUND RING AT THREE LOCATIONS WITH #2 STC GROUND LEAD. SELF SUPPORT TOWERS SHALL HAVE EACH LEG BONDED TO GROUND RING, MONOPOLES AND GUYED TOWERS SHALL HAVE GROUND LEADS EQUALLY SPACED AROUND TOWER. EXOTHERMICALLY WELD GROUND LEADS TO TOP OF BASE PLATES, OR ATTACH TO TOWER USING TOWER MANUFACTURER PROVIDED DETAIL.
6. PROVIDE #2 STC RADIALS FROM THE TOWER GROUND RING TO EACH FENCE CORNER POST. RADIALS SHALL HAVE GROUND RODS AS PER THE REQUIRED SPACING. THE GROUND ROD AT THE END OF EACH RADIAL SHALL BE 24" MAXIMUM FROM FENCE CORNER POST. EQUIPMENT AREA GROUND RING AND CONNECTING GROUND LEADS [BETWEEN EQUIPMENT AREA AND TOWER GROUND RINGS] MAY BE USED AS PART OF THE RADIAL GOING TO THE FENCE CORNER POST CLOSEST TO THE EQUIPMENT AREA.
7. MINIMUM BEND RADIUS FOR #2 AWG GROUND WIRE IS 12", EXCEPT USE 24" FOR TOWER GROUND RINGS AND EQUIPMENT PAD GROUND RINGS.
8. GROUND ALL EXTERIOR EXPOSED METAL OBJECTS. USE TWO HOLE LUGS FOR CONNECTION TO FLAT METAL SURFACES. USE ONLY STAINLESS STEEL HARDWARE ON ALL MECHANICAL CONNECTIONS. CLEAN ALL SURFACES (AND STRIP PAINTED SURFACES) TO BARE BRIGHT METAL PRIOR TO MAKING GROUND CONNECTIONS. APPLY ANTI-OXIDE COMPOUND TO ALL CONNECTIONS. APPLY ZINC RICH PAINT (COLD GALV.) TO ALL EXOTHERMIC WELDS, AND TO ANY METAL EXPOSED BY CLEANING, STRIPPING, GRINDING, CUTTING OR DRILLING.
9. ALL GROUNDING CONDUCTORS ABOVE GRADE SHALL BE RUN IN 3/4" FLEXIBLE PVC CONDUIT. CONDUIT SHALL BEGIN WITHIN 3/4" OF ABOVE GROUND CONNECTION POINT, SHALL EXTEND 24" BELOW GRADE MINIMUM, AND SHALL BE FILLED WITH SEALANT AT ABOVE GROUND CONNECTION POINT. SECURE CONDUIT EVERY 24" ON VERTICAL RUNS AND EVERY 36" ELSEWHERE WITH NON-METALLIC TIES.
- 10A. AT GUYED AND SELF SUPPORT TOWERS MOUNT TDSCA-PA14 TOWER BOTTOM GROUND BAR ON DEDICATED POST DIRECTLY BELOW COAX CABLES COMING OFF TOWER. POST TO BE 3.5" OD GALVANIZED SCHEDULE 40 PIPE WITH GALVANIZED PIPE CAP. TOP OF POST TO BE 78" ABOVE GRADE. EMBED POST 30" MINIMUM IN 12" DIAMETER BY 36" DEEP MINIMUM CONCRETE FOOTING WITH TOP OF FOOTING 6" BELOW GRADE. IF TOWER FOUNDATION OBSTRUCTS AUGERED FOOTING, USE POST WITH 10" SQUARE GALVANIZED STEEL FLANGE PLATE WELDED TO BOTTOM AND BOLT FLANGE TO TOP OF CONCRETE TOWER FOOTING.
- 10B. AT MONOPOLE TOWERS CLAMP TDSCA-BC14 TOWER BOTTOM GROUND BAR DIRECTLY TO TOWER. IF RUNNING COAX INSIDE MONOPOLE, CLAMP ONTO BOTTOM LIP OF EXIT PORT. IF BANDING COAX TO OUTSIDE OF TOWER, CLAMP ONTO STEEL ANGLE WHICH IS Banded TO TOWER. BOND TDSCA-BC14 TO TOWER GROUND RING WITH TWO #2 STC LEADS LUGGED TO GROUND BAR AND EXOTHERMICALLY WELDED TO GROUND RING.
11. AT EQUIPMENT AREA, INSTALL TDSCA-PA14 EXTERIOR GROUND BAR (THRU-BOLTED STYLE) AT BASE OF (2) INTERIOR H-FRAME POSTS AND AT TOP OF ICE BRIDGE POST WHICH IS NEAREST TO (BUT CLOSER TO TOWER THAN) THE COAX CABLE TERMINATION. MOUNT GROUND BAR TO H-FRAME POSTS AT 6" ABOVE GRAVEL AND TO ICE BRIDGE POST AT 6FT ABOVE GRAVEL.
12. ALL ICE BRIDGE SECTIONS ARE TO BE JUMPERED TOGETHER WITH #2 WIRE, EITHER BARE TINNED COPPER OR GREEN INSULATED STRANDED. ICE BRIDGE SHALL BE GROUNDED AT EACH END WITH #2 STC WIRE LUGGED TO ICE BRIDGE AND EXOTHERMICALLY WELDED TO UPPER PORTION OF NEAREST ICE BRIDGE POST. ICE BRIDGE SECTIONS ABOVE H-FRAME SHALL BE BONDED TO EACH OTHER WITH JUMPERS AT EACH END - THIS ASSEMBLY WILL BE CONSIDERED AS A SINGLE ICE BRIDGE SECTION FOR GROUNDING PURPOSES.
13. BOND EACH ICE BRIDGE POST, H-FRAME POST OR DEDICATED GROUNDING POST TO BURIED GROUNDING SYSTEM WITH #2 STC LEAD EXOTHERMICALLY WELDED TO POST BELOW TOP OF GRAVEL AND EXOTHERMICALLY WELDED TO GROUND RING. EACH POST TO HAVE SEPARATE GROUND LEAD DIRECTLY TO GROUND RING - DO NOT DAISY CHAIN POSTS TOGETHER.
14. BOND EACH RF CABINET TO EQUIPMENT GROUND RING WITH #2 AWG TINNED SOLID BARE COPPER CONDUCTOR LUGGED TO CABINET BODY AND EXOTHERMICALLY WELDED TO GROUND RING. LUG TO CABINET BODY USING LOCATION AT WHICH STUDS ON CABINET CHASSIS HAVE DIRECT GROUND WIRE CONNECTION TO CABINET INTERNAL GROUND BAR. RUN CONDUIT AND CONDUCTOR ACROSS BACK OF CABINET (DO NOT RUN TOWARDS NEAREST CORNER OF CABINET AND THEN BEND GROUND WIRE SHARPLY), ACROSS CONCRETE PAD BELOW CABLE LADDER, THEN DOWN INTO GRAVEL AREA.
15. BOND EACH BATTERY CABINET TO GROUND RING WITH #2 AWG TINNED SOLID BARE COPPER CONDUCTOR LUGGED TO CABINET BODY AND EXOTHERMICALLY WELDED TO GROUND RING. RUN GROUND LEAD IN FLEX CONDUIT ALONG BACK OF RBA72 CABINET, ACROSS CONCRETE PAD BELOW CABLE LADDER, THEN DOWN INTO GRAVEL AREA. CONNECT TWO HOLE LUG TO BACK OF CABINET AT FACTORY PROVIDED GROUNDING STUDS.
16. BOND GENERATOR TO GROUND RING WITH #2 STC AT TWO DIAGONALLY OPPOSITE LOCATIONS BY DRILLING AND BOLTING TWO HOLE LUG TO FINS ON GENERATOR BASE STRUCTURE. GROUND LEADS SHOULD TAKE SHORTEST PATH ACROSS CONCRETE PAD TO GRAVEL AREA, THEN CONTINUE TO GROUND RING.
17. WHERE PROPANE TANK IS INSTALLED TO FUEL GENERATOR, BOND PROPANE TANK TO GROUND RING WITH A SINGLE #2 STC CLAMPED TO FILLER PIPE OF PROPANE TANK AND EXOTHERMICALLY WELDED TO GROUND RING. GROUND LEAD SHOULD RUN TO TANK SUPPORT AND TAKE SHORTEST PATH ACROSS CONCRETE PAD TO GRAVEL AREA, THEN CONTINUE TO GROUND RING. IF PROPANE TANK FUEL LINE IS METALLIC AND CROSSES EQUIPMENT GROUND RING, BOND FUEL LINE TO EQUIPMENT GROUND RING WHERE THE TWO LINES CROSS WITH A SINGLE #2 STC CLAMPED TO FUEL LINE AND EXOTHERMICALLY WELDED TO GROUND RING.
18. BOND GPS ANTENNA and GPS ANTENNA MOUNT TO TDSCA GROUND BAR AT BOTTOM OF H-FRAME POST WITH #2 GREEN INSULATED STRANDED GROUND WIRE.
19. PROVIDE TWO GROUND RODS OUTSIDE GATES OF COMPOUND. DISTANCE BETWEEN GROUND RODS SHALL MATCH WIDTH OF GATE OPENING, AND DISTANCE FROM FENCE SHALL MATCH LENGTH OF LONGEST INDIVIDUAL GATE LEAF. BOND GATE POSTS TOGETHER WITH #2 STC LEAD WHICH RUNS PAST AND CONNECTS TO GROUND RODS OUTSIDE GATES.
20. BOND EACH GATE POST WITH #2 STC TO NEAREST PORTION OF GROUNDING SYSTEM INSIDE COMPOUND.
21. BOND EACH GATE TO GATE POST WITH FLEXIBLE INSULATED OR BRAIDED #4/0 COPPER STRAP. EXOTHERMICALLY WELD STRAP TO BOTH GATE AND GATE POSTS.
22. ANY METAL FENCE POST WITHIN 6FT OF A GROUNDED METAL OBJECT SHALL BE BONDED TO THE NEAREST GROUND RING. ANY METAL FENCE WITHIN 6FT OF A GROUND RING SHALL HAVE THE LINE POSTS BONDED TO THE GROUND RING AT 20FT MAXIMUM INTERVALS AS MEASURED ALONG THE LENGTH OF THE FENCE.
23. WHERE GROUND BASED RRU'S, RAYCAP OVP'S OR DIPLEXERS ARE INSTALLED AT THE EQUIPMENT AREA, BOND EACH COMPONENT TO NEAREST TDSCA GROUND BAR BELOW THE COMPONENT WITH #2 GREEN INSULATED STRANDED GROUND WIRE. SINGLE HOLE LUG OR RING TYPE CONNECTOR IS SUITABLE FOR CONNECTION TO GROUNDING STUD ON EACH COMPONENT.
24. NOTIFY VZW CM TO INSPECT GROUND RING BEFORE BACKFILLING. CONTRACTOR SHALL HIRE A 3RD PARTY TO PERFORM AN IEEE81 FALL OF POTENTIAL METHOD GROUND TEST. MAXIMUM ALLOWABLE RESISTANCE TO GROUND IS 5 OHMS. PROVIDE ADDITIONAL GROUND SYSTEM COMPONENTS AS REQUIRED TO ACHIEVE THIS VALUE.
25. REFER TO TOWER GROUNDING DIAGRAM AND NOTES FOR GROUND SYSTEM REQUIREMENTS ON THE TOWER.
26. GROUNDING OF ALL ELECTRICAL EQUIPMENT SHALL BE AS PER NEC, MUNICIPAL AND UTILITY COMPANY REQUIREMENTS.

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8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
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452 FARM LIFE SCHOOL RD
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MOORE COUNTY

PLANS PREPARED BY:

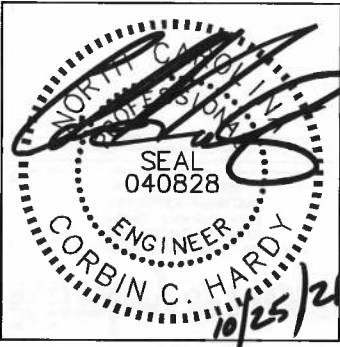
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KHA PROJECT NUMBER:

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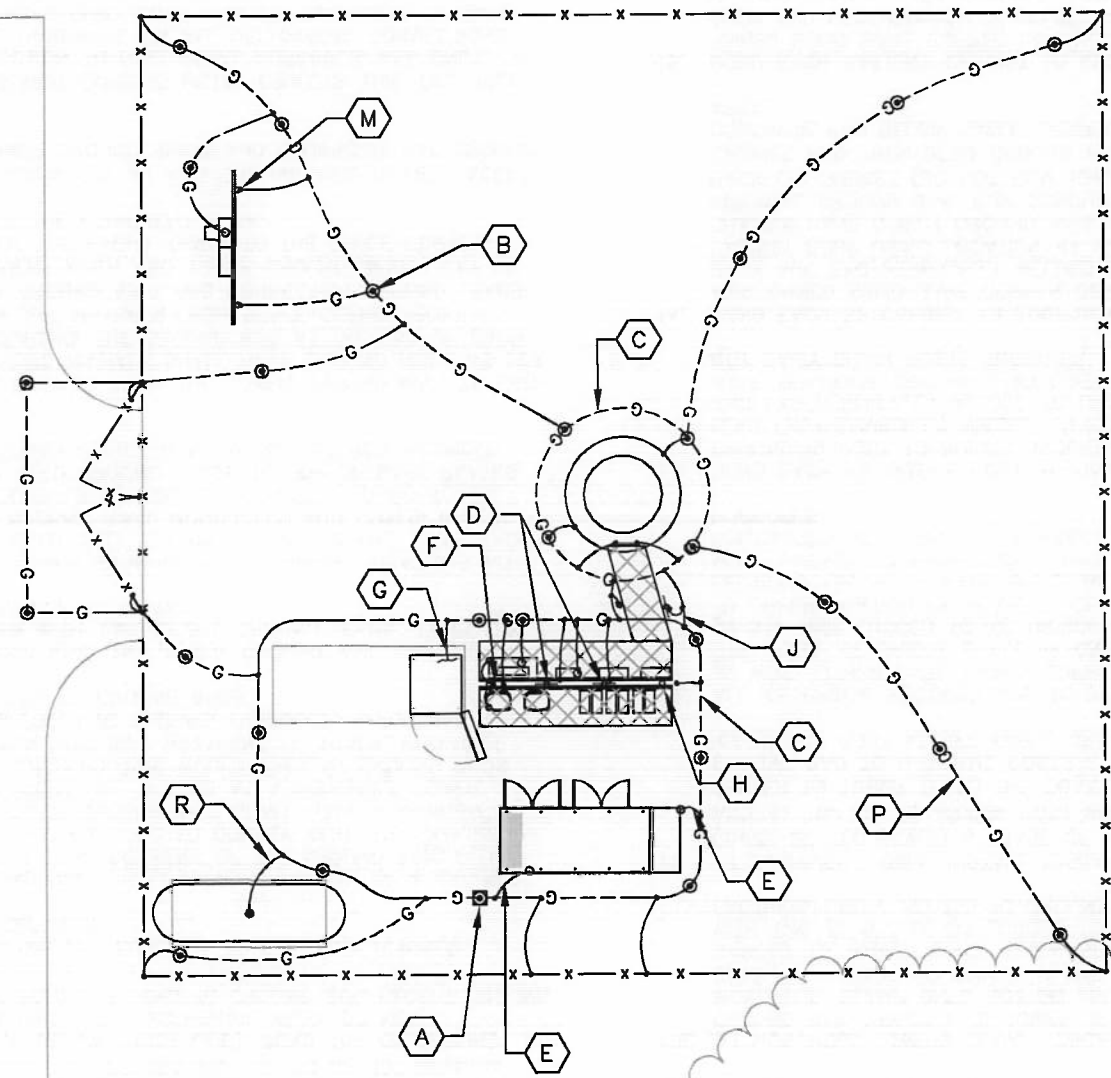
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**GROUNDING
NOTES**

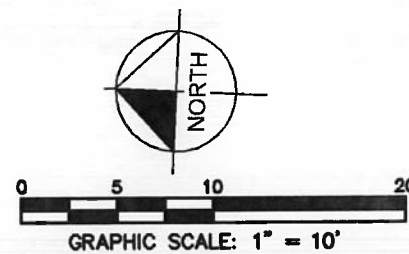
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1 GROUNDING PLAN
E9 SCALE: 1" = 10'



KEY NOTES - GROUNDING EQUIPMENT

- (A) GROUND ROD TEST WELL (SEE DETAIL 1/E11).
- (B) GROUND ROD, TYPICAL (SEE DETAIL 2/E11 AND NOTES 2 AND 3 ON E8).
- (C) TOWER AND EQUIPMENT GROUND RING (SEE NOTES 1, 3, 4, 5, 6 AND 7 ON E8).
- (D) TDSGA-PA14 OR TDSGA-BC14 WHERE APPLICABLE (SEE NOTES 10 AND 11 ON E8).
- (E) GENERATOR GROUNDING (SEE NOTE 16 ON E8).
- (F) GPS ANTENNA GROUNDING (SEE NOTE 18 ON E8).
- (G) RF CABINET GROUNDING (SEE NOTE 14 ON E8).
- (H) RRU'S AND OVP'S GROUNDING (SEE NOTE 23 ON E8).
- (J) ICE BRIDGE POST BOND TO GROUND RING, TYPICAL (SEE NOTES 12 AND 13 ON E8).
- (K) FENCE POST GROUNDING, TYPICAL (SEE NOTE 22 ON E8).
- (L) GATE GROUNDING, TYPICAL (SEE NOTES 19, 20 & 21 ON E8).
- (M) UTILITY H-FRAME GROUNDING, TYPICAL (SEE SHEET E4 AND NOTE 13 ON E8).
- (N) TOWER GROUNDING, TYPICAL (SEE NOTES 5, 6 & 25 ON E8).
- (P) GROUND RADIALS, TYPICAL (SEE NOTE 6 ON E8).
- (Q) REFER TO SHEETS E8, E10, E11 & E12 FOR GROUNDING NOTES, DETAILS, AND SPECIFICATIONS.
- (R) PROPANE TANK GROUNDING, IF INSTALLED (SEE NOTE 17 ON E8).

LEGEND:

- G---G--- GROUND RING
- G---G--- GROUND ROD EXOTHERMICALLY WELDED TO GROUND RING
- EXOTHERMIC WELD
- ⊙ GROUND ROD TEST WELL (SEE DETAIL 1/E11)
- MECHANICAL CONNECTION



PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

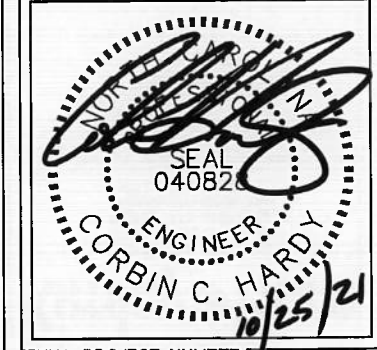
PLANS PREPARED BY:

Kimley»Horn
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM
NC License F-0102

REV: DATE: ISSUED FOR: BY:

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2			
1	10/11/21	CONSTRUCTION	CCH
0	09/07/21	CONSTRUCTION	CCH

LICENSER:



KHA PROJECT NUMBER:

013509278

DRAWN BY: CHECKED BY:

JAR DMF

SHEET TITLE:

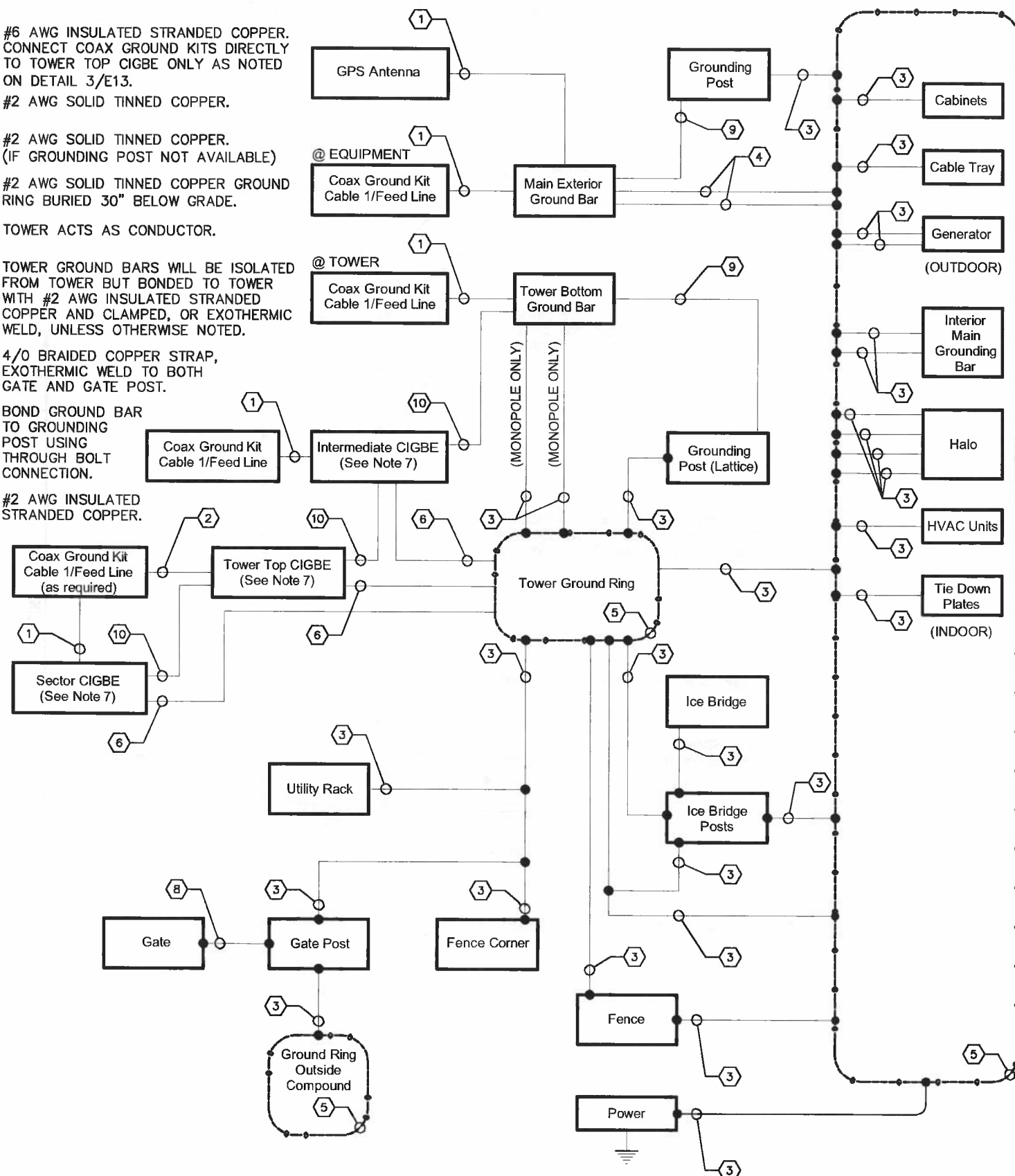
GROUNDING PLAN

SHEET NUMBER:

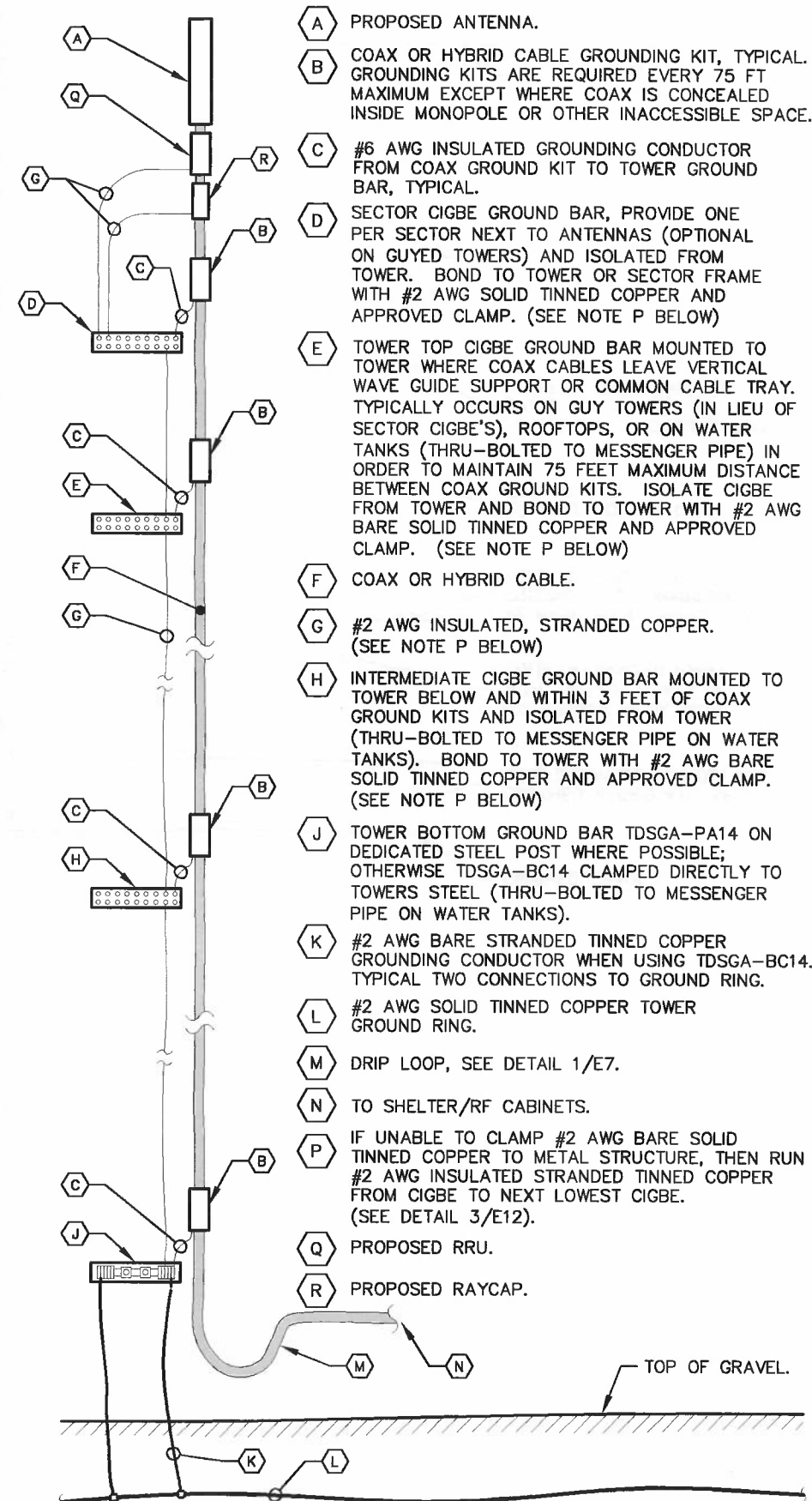
E9

K:\ATL_Wireless\000_Verizon\2020_Sites\Swallowtail\CAD\GB\ECor-GB.dwg 10/11/21 5:25 PM by: William.Bridger

- 1 #6 AWG INSULATED STRANDED COPPER.
- 2 #6 AWG INSULATED STRANDED COPPER. CONNECT COAX GROUND KITS DIRECTLY TO TOWER TOP CIGBE ONLY AS NOTED ON DETAIL 3/E13.
- 3 #2 AWG SOLID TINNED COPPER.
- 4 #2 AWG SOLID TINNED COPPER. (IF GROUNDING POST NOT AVAILABLE)
- 5 #2 AWG SOLID TINNED COPPER GROUND RING BURIED 30" BELOW GRADE.
- 6 TOWER ACTS AS CONDUCTOR.
- 7 TOWER GROUND BARS WILL BE ISOLATED FROM TOWER BUT BONDED TO TOWER WITH #2 AWG INSULATED STRANDED COPPER AND CLAMPED, OR EXOTHERMIC WELD, UNLESS OTHERWISE NOTED.
- 8 4/0 BRAIDED COPPER STRAP, EXOTHERMIC WELD TO BOTH GATE AND GATE POST.
- 9 BOND GROUND BAR TO GROUNDING POST USING THROUGH BOLT CONNECTION.
- 10 #2 AWG INSULATED STRANDED COPPER.



1 GROUNDING SINGLE LINE DIAGRAM
E10 NOT TO SCALE



2 COAX-TOWER GROUNDING SCHEMATIC
E10 NOT TO SCALE



PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

PLANS PREPARED BY:

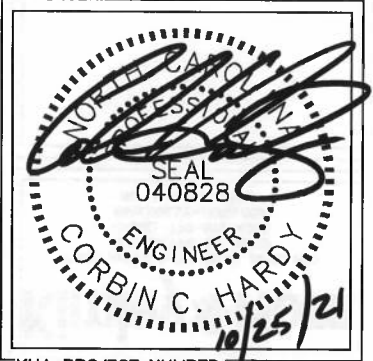
Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-819-4280
WWW.KIMLEY-HORN.COM
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REV: DATE: ISSUED FOR: BY:

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0	09/07/21	CONSTRUCTION	CCH	

LICENSER:



KHA PROJECT NUMBER:

013509278

DRAWN BY: CHECKED BY:

JAR

DMF

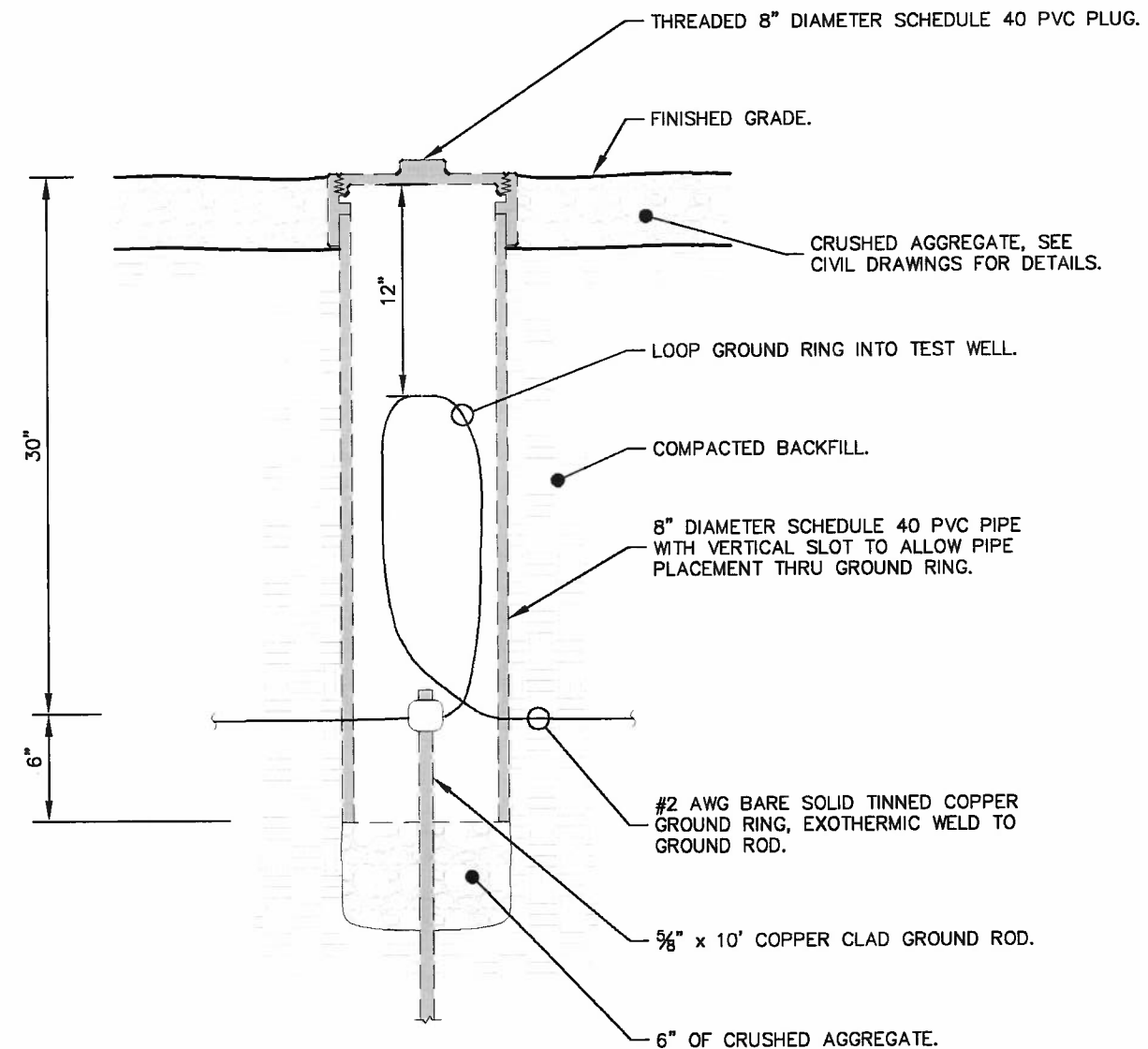
SHEET TITLE:

GROUNDING
SINGLE LINE
DIAGRAM

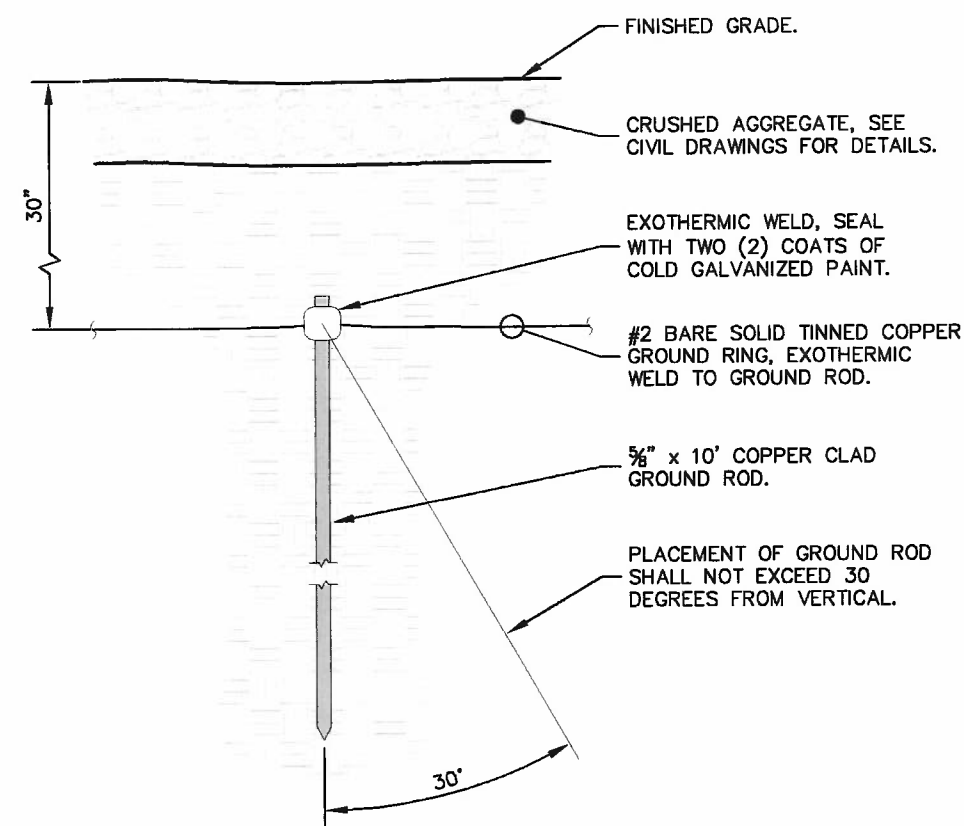
SHEET NUMBER:

E10

K:\TL_Wireless\000_Verizon\2020_Sites\Swallowtail\CD\08\ECar-GS.dwg 10/11/21 5:25 PM by: William.Bridger



1 GROUND ROD TEST WELL DETAIL
E11 NOT TO SCALE



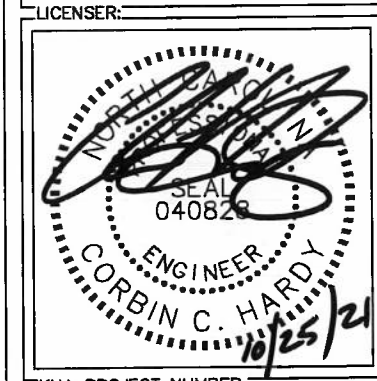
2 GROUND ROD INSTALLATION DETAIL
E11 NOT TO SCALE



PROJECT INFORMATION:
SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

PLANS PREPARED BY:
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PHONE: 770-619-4280
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REV:		DATE:	ISSUED FOR:	BY:
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0	09/07/21	CONSTRUCTION	CCH	

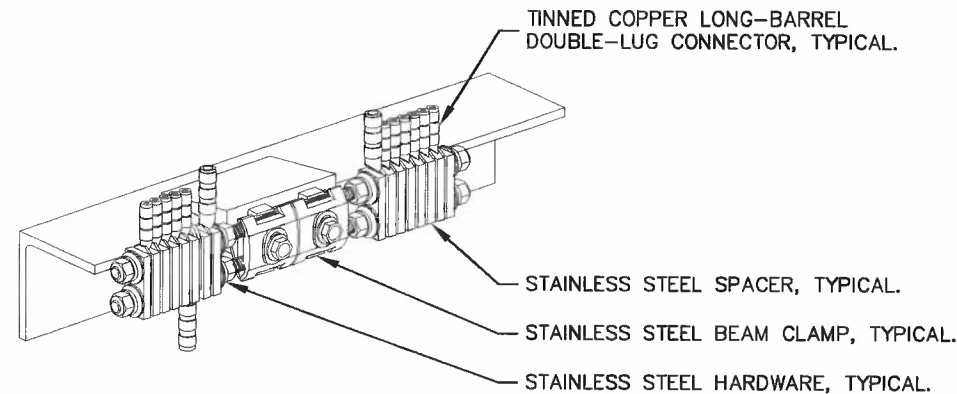


KHA PROJECT NUMBER:
013509278
DRAWN BY: JAR CHECKED BY: DMF

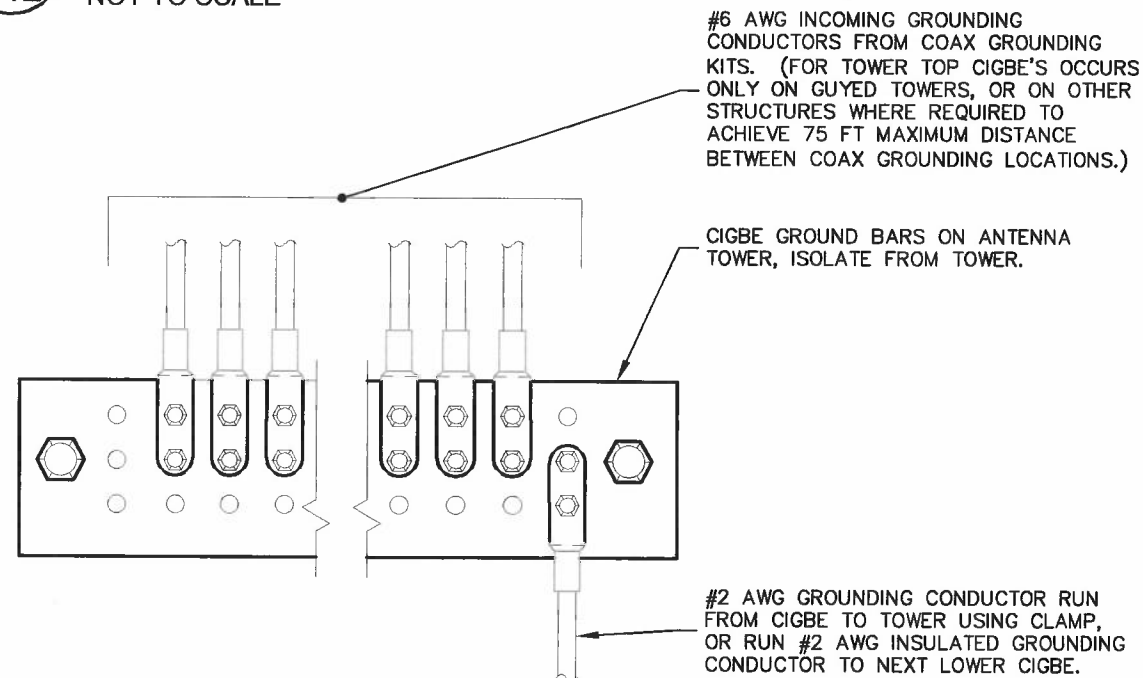
SHEET TITLE:
**GROUNDING
DETAILS**

SHEET NUMBER:
E11

K:\ATL_Wireless\000_Verizon\2020_Sites\Swallowtail\CAD\GB\ECar-GB.dwg 10/11/21 5:26 PM by: William Bridger



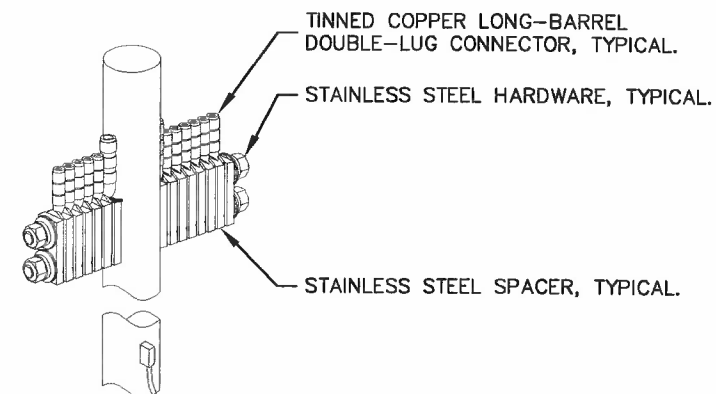
1 BAR NONE GROUNDED BEAM CLAMP (TDSGA-BC14)
E12 NOT TO SCALE



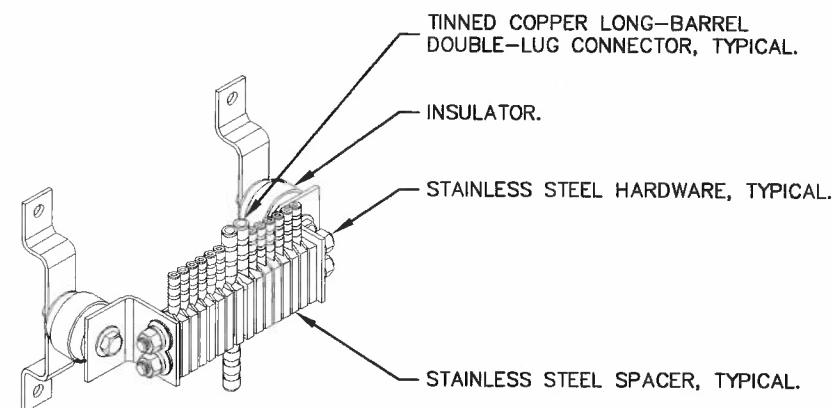
3 ANTENNA GROUND WIRE INSTALLATION DETAIL
E12 NOT TO SCALE

NOTES:

1. ALL CIGBE GROUND BARS ON TOWER ARE TO BE ERICO TDSGA. TYPICALLY USE TDSGA-WB17 ISOLATED FROM UNISTRUT BRACKET.
2. IF CIGBE CANNOT BE CONNECTED TO TOWER WITH #2 AWG GROUNDING CONDUCTOR, VIA CLAMP OR EXOTHERMIC WELD, THEN RUN #2 AWG BLACK GROUND LEAD FROM CIGBE DOWN TO NEXT LOWER CIGBE. SECURE GROUND LEAD WITH NON-METALIC TIES AT SAME SPACING AS COAX SUPPORTS.



2 BAR NONE POST MOUNTED (TDSGA-PA14)
E12 NOT TO SCALE



4 BAR NONE INSULATED (TDSGA-WB17)
E12 NOT TO SCALE



PROJECT INFORMATION:

SITE NAME:
SWALLOWTAIL
SITE No.: 431713
PROJECT #: N/A
452 FARM LIFE SCHOOL RD
CARTHAGE, NC 28327
MOORE COUNTY

PLANS PREPARED BY:

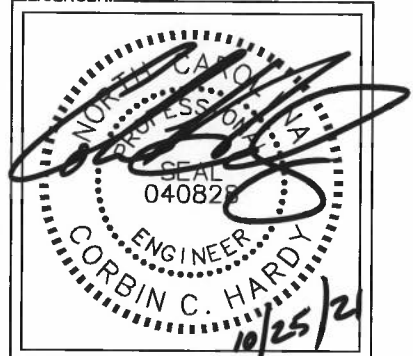
Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM
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REV: DATE: ISSUED FOR: BY:

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1	10/11/21	CONSTRUCTION	CCH
0	09/07/21	CONSTRUCTION	CCH

LICENSER:



KHA PROJECT NUMBER:

013509278

DRAWN BY: CHECKED BY:

JAR DMF

SHEET TITLE:

GROUNDING
DETAILS

SHEET NUMBER:

E12

FOR REGISTRATION REGISTER OF DEEDS

Judy D. Martin
Moore County, NC

March 18, 2019 11:08:17 AM

Book 5101 Page 332-334

FEE: \$26.00

NC REVENUE STAMP: \$700.00

INSTRUMENT # 2019003319

Jm



INSTRUMENT # 2019003319

NORTH CAROLINA SPECIAL WARRANTY DEED

Excise Tax: \$700.00

Parcel Identifier No 859600472658, Verified by Moore County on the ____ day of _____, 20____
By: _____Mail to: Gardner H. Altman, Jr. PO Box 459, Selma, North Carolina 27576

This instrument was prepared by: Gardner H. Altman, Jr., P.A. (NO TITLE CERTIFICATION, TITLE EXAMINATION OR TAX ADVICE)

Brief description for the Index: 444 Farm Life School Road, Carthage; 30.9 acresTHIS DEED made this 12th day of March, 2019, by and between**Grantor**Teen Challenge Training Center, Inc.
a Pennsylvania non-profit corporation
PO Box 98
Reheresburg, PA 19550**Grantee**Adult & Teen Challenge of
Sandhills, North Carolina
a North Carolina non-profit corporation
444 Farm Life School Road
Carthag NC 28388

Enter in appropriate block for each Grantor and Grantee: name, mailing address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in or near the City of CARTHAGE, CARTHAGE Township, Moore County, North Carolina and more particularly described as follows:**See attached Exhibit "A"**All or a portion of the property herein conveyed ☐ includes or ☒ does not include the primary residence of a Grantor.The property hereinabove described was acquired by Grantor by instrument recorded in Book 567, Page 07.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor has done nothing to impair such title as Grantor received, and Grantor will warrant and defend the title against the lawful claims of all persons claiming by, under or through Grantor, other than the following exceptions:

1. Exception is taken to 2019 ad valorem taxes
2. Subject to easements, restrictions, conveyances and rights of way of record as of this day of conveyance.
3. Exception is taken to all applicable zoning ordinances

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.

Teen Challenge Training Center, Inc.
a Pennsylvania non-profit corporation

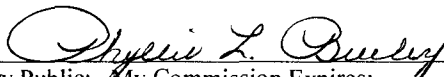
BY: 

Kristopher J. Mcadden, President

State of Pennsylvania, County of Lancaster

I, the undersigned Notary Public of Lancaster County and State aforesaid, certify that Kristopher J. Mcadden personally came before me this day and acknowledged that he is the President of the Teen Challenge Training Center, Inc. a Pennsylvania non-profit corporation, and that by authority duly given and as the act of each entity, he signed the forgoing instrument in its name on its behalf as its act and deed.

Witness my hand and Notarial stamp or seal this 12th day of March 2019.


Notary Public; My Commission Expires: 01/10/2023

<p>Commonwealth of Pennsylvania - Notary Seal Phyllis L. Bireley, Notary Public Lancaster County My commission expires January 10, 2023 Commission number 1194992 Member, Pennsylvania Association of Notaries</p>
--

Exhibit A to be attached and made part of the deed dated March 12, 2019 from Teen Challenge Training Center, Inc. to Adult & Teen Challenge of Sandhills, North Carolina.

Exhibit A

Moore County (Carthage)

A certain tract of parcel of land in Carthage Township, Moore County, North Carolina, fronting on the west side of State Road No. 1832 about 0.40 miles southwest of its intersection with State Road No. 1805 and bounded on the south by an 11.05 acres tract, on the southwest by McDonald, and on the north by Dunhams Creek, and beginning at a PK nail in the centerline of a bridge over Dunhams Creek, said bridge being on State Road No. 1832 about 0.40 miles southwest of its intersection with State Road No. 1805, running thence from the beginning as the centerline of State Road No. 1832 the following chords; South 41 degrees, 12 minutes West 155.29 feet to a PK nail; South 31 degrees 56 minutes West 136.71 feet to a PK nail; South 20 degrees, 28 minutes West 156.13 feet to a PK nail; South 12 degrees, 35 minutes West 163.39 feet to a PK nail; South 3 degrees, 30 minutes West 141.96 feet to a PK nail; South 5 degrees 55 minutes East 128.88 feet to a PK nail; South 14 degrees 24 minutes East 156.82 feet to a PK nail; South 19 degrees 50 minutes East 203.32 feet to a PK nail; South 15 degrees 50 minutes East 125.39 feet to a PK nail in the centerline of State Road No. 1832, the northeast corner of an 11.05 acres tract; thence as the north line of said 11.05 acres tract, South 88 degrees, 00 minutes West 1239.78 feet to an iron bar in a lake, said iron bar being near the west bank of said lake and having an oak pointer, said iron bar also common corner with Catawba Timber Co., McDonald and the aforementioned 11.05 acres tract; thence a common line with McDonald, North 39 degrees, 30 minutes West 276.75 feet to an iron pipe with poplar and oak pointers in the McDonald line; thence along a marked line, North 19 degrees, 14 minutes East 874.09 feet to an iron pipe in the centerline of Dunhams Creek; thence down the run of Duham's Creek the following chords: North 46 degrees, 41 minutes East 148.72 feet; South 61 degrees, 39 minutes East North 120.26 feet; North 69 degrees, 04 minutes East 97.66 feet; South 89 degrees 39 minutes East 190.34 feet; South 76 degrees 53 minutes East 110.09 feet; North 51 degrees 25 minutes East 150.78 Feet; North 52 degrees, 45 minutes East 131.48 feet; North 42 degrees 06 minutes

MEMORANDUM TO THE PLANNING BOARD

FROM: Debra Ensminger
Planning and Inspections Director

DATE: March 3, 2022

SUBJECT: General Use Rezoning Request: Residential & Agricultural-40 (RA-40) & to Highway Business (B-2) – NC 73 Highway

PRESENTER: Jaimie Walters

REQUEST

Southern Golf & Land, LLC is requesting a General Use Rezoning from Residential and Agricultural-40 (RA-40) to Highway Commercial (B-2) of one parcel of approximately 2.49 acres located on NC 73 Highway, owned by Southern Golf & Land, LLC, per Deed Book 5604 Page 221 and further described as ParID 00021818 in Moore County Tax Records.

Public notification consisted of publishing a legal notice in the local newspaper for two consecutive weeks, notification by mail to adjacent property owners, and placing public hearing signs on the property.

BACKGROUND

The subject property currently has a single-family residence located on it. The property is located within the Urban Transition portion of the Highway Corridor Overlay District. Adjacent properties include single family dwellings, manufactured homes, a church and commercial businesses.

The parcel is within a half-mile of a Voluntary Agricultural District. The parcel is within the Little River (CPF) WS-IIIP watershed (24% limited built upon area; up to 70% with SNIA) and the High-Quality Water area. This area is part of NCDOT STIP Project R-5726 and will be part of future right-of-way acquisition, with construction scheduled to start in 2025 (see attached map).

ZONING DISTRICT COMPATIBILITY

The requested rezoning to Highway Commercial (B-2) is consistent with the existing uses located near the property, including commercial and industrial uses. The surrounding area is zoned Residential & Agricultural-20 (RA-20), Residential & Agricultural-40 (RA-40), Highway Commercial (B-2) and Industrial (I).

CONSISTENCY WITH THE 2013 MOORE COUNTY LAND USE PLAN

The future land use map identifies the property as the Commercial/Office/Retail/Institutional Classification. The requested rezoning to Highway Commercial (B-2) is compatible with the

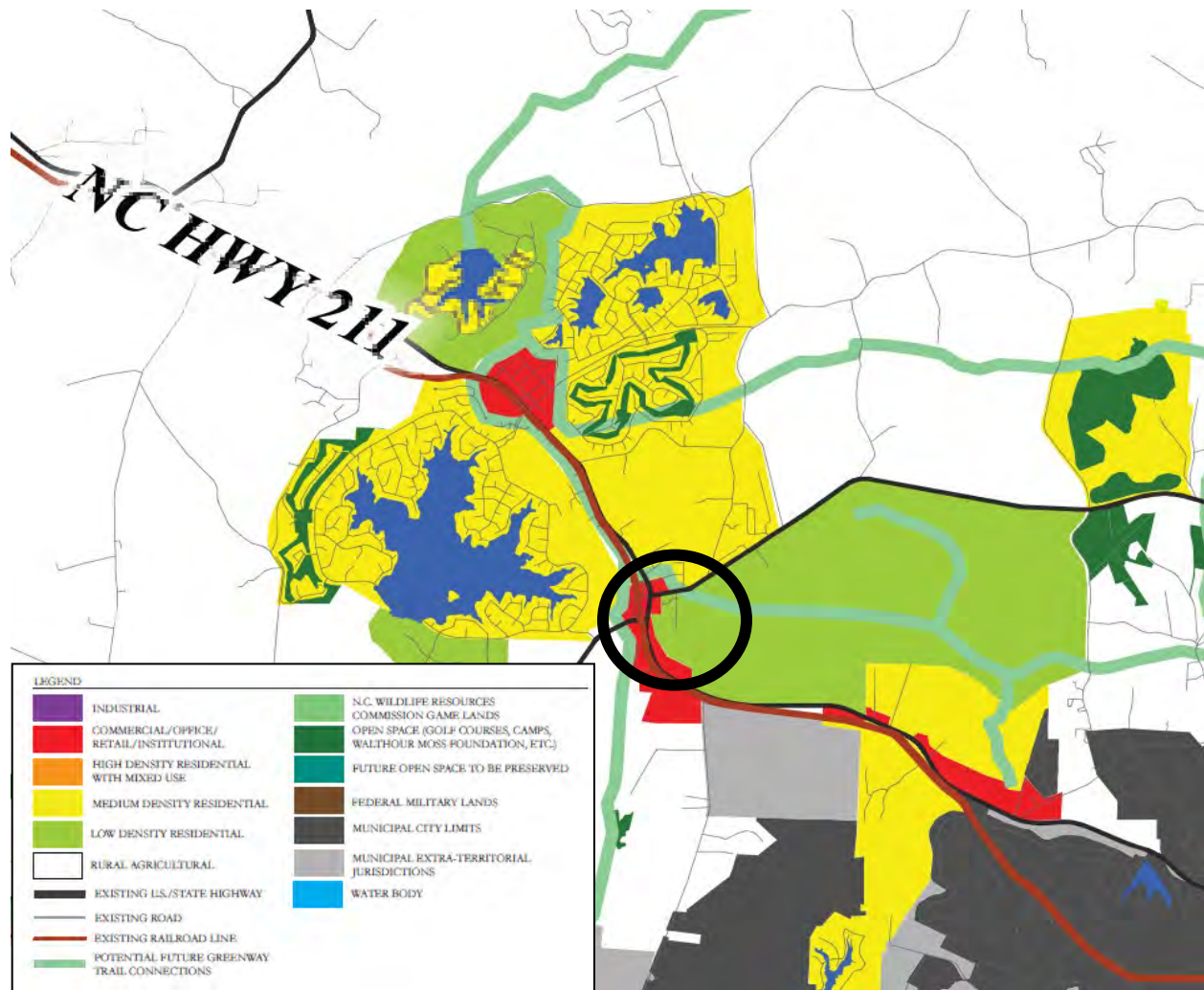
Commercial/Office/Retail/Institutional Land Use Classification as the B-2 district will permit the desired uses to support the surrounding areas.

The Land Use Plan states the Commercial/Office/Retail/Institutional Classification's primary use of the land includes shopping/retail uses, dining, entertainment, services, general office space, medical offices, banks, schools, daycares, places of worship, libraries, etc.

The Moore County Unified Development Ordinance states the Highway Commercial (B-2) district provides for the development of commercial and service centers that serve community, countrywide, or regional commercial needs, are accessible by residents from surrounding neighborhoods, and are of such nature so as to minimize conflicts with surrounding residential areas.

The rezoning request aligns with the following recommendation as included in the attached Land Use Plan Consistency Statement, including Action 1.8.5: Support and promote infill development that will optimize the use of existing infrastructure; and Action 3.1.2: Encourage non-residential development to locate near major transportation routes and areas served by adequate water, sewer, natural gas, broadband, and electric power.

MOORE COUNTY FUTURE LAND USE MAP



RECOMMENDATION

Staff recommends the Moore County Planning Board make two separate motions:

Motion #1: Make a motion to adopt the attached **Approval** or **Denial** Moore County Planning Board Land Use Plan Consistency Statement and authorize its Chairman to execute the document as required by North Carolina General Statute 160D-604.

Motion #2: Make a motion to recommend **Approval** or **Denial** to the Moore County Board of Commissioners of the General Use Rezoning from Residential and Agricultural-40 (RA-40) to Highway Commercial (B-2) of one parcel of approximately 2.49 acres located on NC 73 Highway, owned by Southern Golf & Land, LLC, per Deed Book 5604 Page 221 and further described as ParID 00021818 in Moore County Tax Records.

ATTACHMENTS

- Pictures of Property and Adjacent Properties
- Vicinity Map
- Land Use Map
- Rezoning Map
- Planning Board Consistency Statement – Approval
- Planning Board Consistency Statement – Denial
- Submitted Rezoning Application
- UDO – Chapter 6. Table of Uses
- Deed Book 5604 Page 221

View of subject property- 4020 NC 73 Highway



View of remaining parent tract



Adjacent property – 4015 NC 73 HWY



Adjacent property – 5307 NC 211 HWY



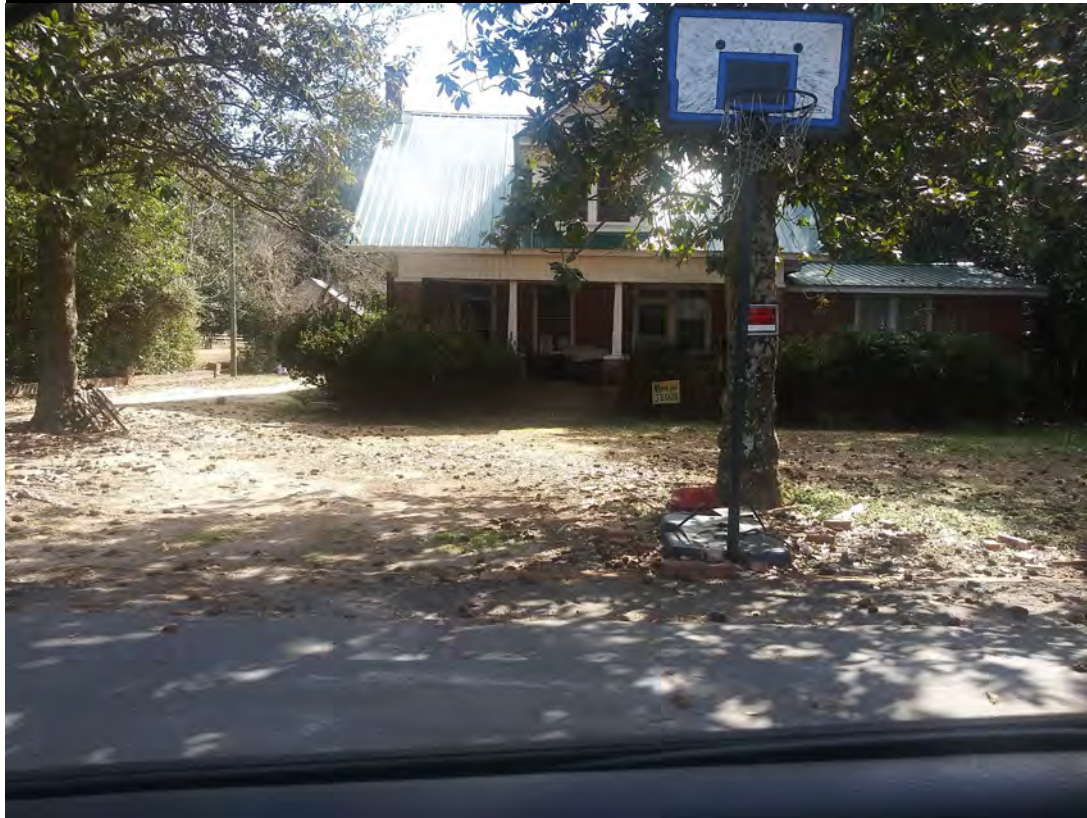
Adjacent property – 3985 NC 73 HWY



Adjacent property – 158 Von Cannon Dr.



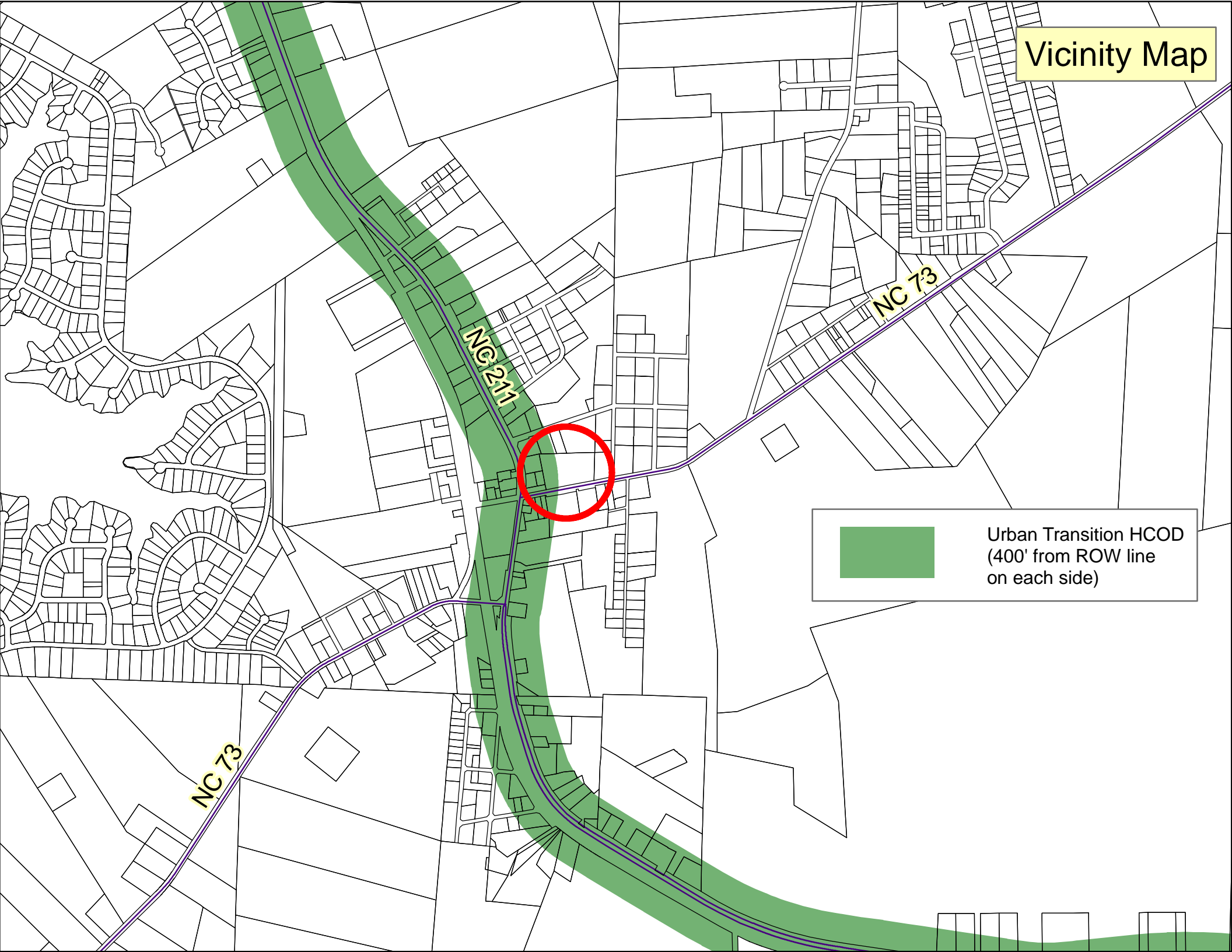
Adjacent property – 154 Von Cannon Rd




Adjacent property – 134 Von Cannon Rd.



Vicinity Map



 Urban Transition HCOD
(400' from ROW line
on each side)

Land Use Map



Single Family

Single Family

Vacant Commercial

Commercial

Shaded area requested
to be rezoned to B-2

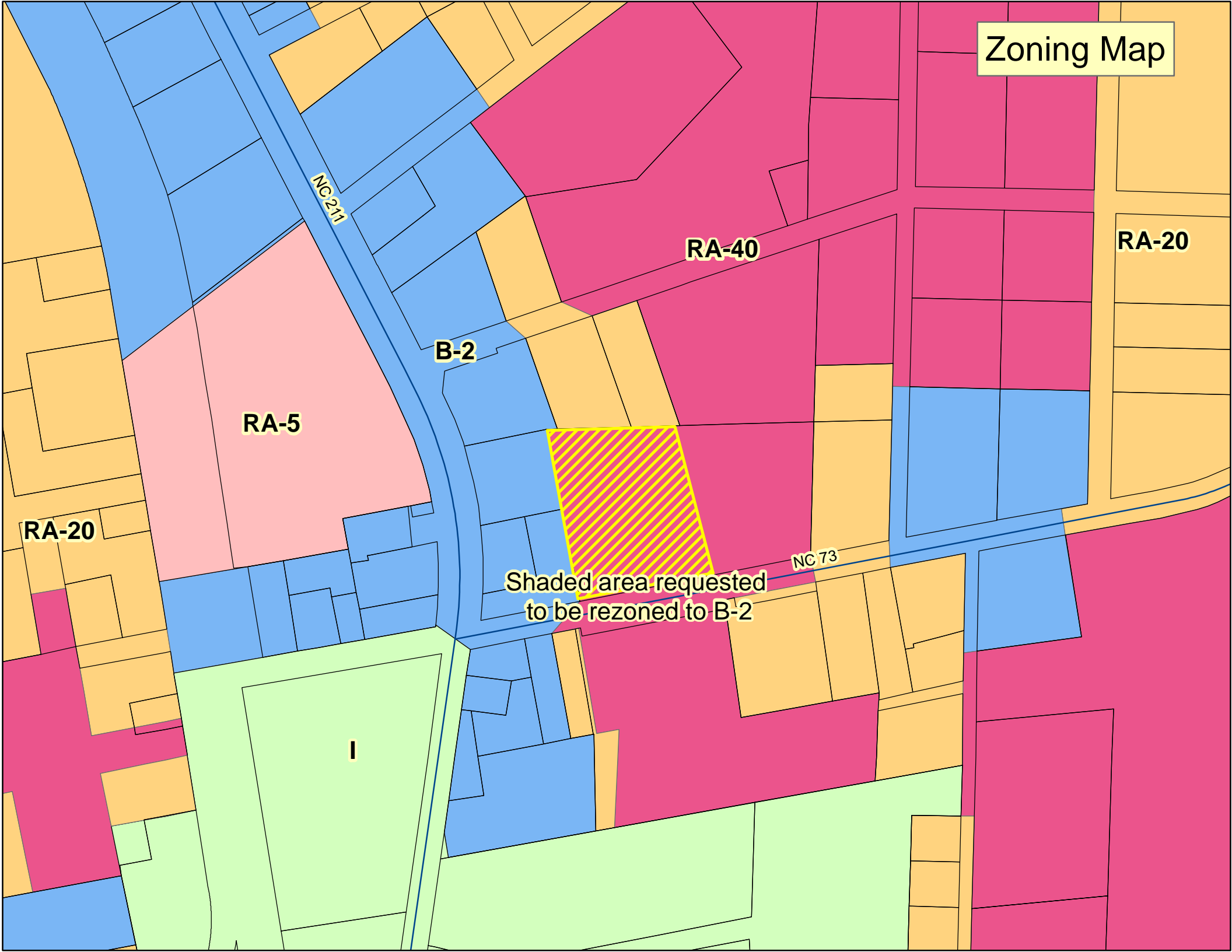
NC 73

Single Family

Church

NC 211

Zoning Map



Moore County Planning Board
Land Use Plan Consistency Statement
General Use Rezoning Request
Residential & Agricultural-40 (RA-40) to Highway Commercial (B-2)

The Moore County Planning Board finds that:

1. The rezoning request is consistent with the following goals as listed in the 2013 Moore County Land Use Plan:

Goal 1: Preserve and Protect the Ambiance and Heritage of the County of Moore (inclusive of areas around the municipalities)

- Action 1.8.5: Support and promote infill development that will optimize the use of existing infrastructure; and

Goal 3: Maximize accessibility among living, working, and shopping areas

- Action 3.1.2: Encourage non-residential development to locate near major transportation routes and areas served by adequate water, sewer, natural gas, broadband, and electric power.

2. The rezoning request is reasonable and in the public interest considering the property is located adjacent to an existing road with no outlet and the requested zoning district will remain in harmony with surrounding zoning.

Therefore, the Moore County Planning Board recommends **APPROVAL** of the General Use Rezoning from Residential and Agricultural-40 (RA-40) to Highway Commercial (B-2) of one parcel of approximately 2.49 acres located on NC 73 Highway, owned by Southern Golf & Land, LLC, per Deed Book 5604 Page 221 and further described as ParID 00021818 in Moore County Tax Records.

Joe Garrison, Chair
Moore County Planning Board

Date

Moore County Planning Board
Land Use Plan Consistency Statement
General Use Rezoning Request
Residential & Agricultural-40 (RA-40) to Highway Commercial (B-2)

The Moore County Planning Board finds that:

1. The rezoning request is consistent with the following goals as listed in the 2013 Moore County Land Use Plan:

Goal 1: Preserve and Protect the Ambiance and Heritage of the County of Moore (inclusive of areas around the municipalities)

- Action 1.8.5: Support and promote infill development that will optimize the use of existing infrastructure; and

Goal 3: Maximize accessibility among living, working, and shopping areas

- Action 3.1.2: Encourage non-residential development to locate near major transportation routes and areas served by adequate water, sewer, natural gas, broadband, and electric power.

2. The proposed rezoning is not reasonable and not in the public interest because the proposed rezoning will have an unreasonable impact on the surrounding community.

Therefore, the Moore County Planning Board recommends **DENIAL** of the General Use Rezoning from Residential and Agricultural-40 (RA-40) to Highway Commercial (B-2) of one parcel of approximately 2.49 acres located on NC 73 Highway, owned by Southern Golf & Land, LLC, per Deed Book 5604 Page 221 and further described as ParID 00021818 in Moore County Tax Records.

Joe Garrison, Chair
Moore County Planning Board

Date



County of Moore Planning and Inspections

Inspections/Permitting: (910) 947-2221

Planning: (910) 947-5010

Fax: (910) 947-1303

GENERAL USE REZONING APPLICATION

Application Date: <u>2/21/2022</u>			
Location/Address of Property: <u>4020 NC HWY 73</u>			
Applicant: <u>SOUTHERN GOLF AND LAND, LLC</u>		Phone:	
Applicant Address: <u>215 SURREY CIRCLE DR N</u>	City: <u>PINEHURST</u>	St: <u>NC</u>	Zip: <u>28374</u>
Owner: <u>MIKE PHILLIPS</u>		Phone: <u>910.986.0401</u>	
Owner Address: <u>215 SURREY CIRCLE DR N</u>	City: <u>PINEHURST</u>	St: <u>NC</u>	Zip: <u>28374</u>
Current Zoning District: <u>PA-40</u>		Proposed Zoning District: <u>B-2</u>	
Comments: 			
<p>I (We), the undersigned, certify that all statements furnished in this application are true to the best of my (our) knowledge, and do hereby agree to follow all reasonable requests for information as designated by the County of Moore Zoning Administrator.</p> <p><u>Michael T. Phillips</u> <u>2/21/2022</u> Applicant/Owner Signature Date</p> <p>_____ Applicant/Owner Signature Date</p>			
Office Use Only: PAR ID: <u>00021818</u> <u>Jamie L. Walters</u> <u>2-21-22</u> App# <u>38702</u> Received By Date			

REFERENCE:
DEED BOOK 5604, PAGE 221
MAP BOOK 3, PAGE 12
PLAT CABINET 18, SLIDE 020
MOORE COUNTY REGISTRY
RATIO OF PRECISION= 1/10,000+
ACREAGE DETERMINED
BY COORDINATE METHOD.

UNLESS OTHERWISE DENOTED:
●=EXISTING IRON STAKE
■=EXISTING CONCRETE MONUMENT
□=SET CONCRETE MONUMENT
○=SET 1/2" IRON STAKE
X=CALCULATED POINT
▲=N/W MONUMENT (REBAR & CAP)
○=SEWER SERVICE STUB
○=CABLE TV SERVICE STUB
○=WATER METER
○=FIRE HYDRANT
○=SANITARY SEWER MANHOLE
○=UTILITY POLE
PUE=PERMANENT UTILITY EASEMENT

Property is Zoned "RA-40"
Parcel ID #00021818

NOTICE: This property is located within a Public Water Supply Watershed
- Development Restrictions May Apply. (WIS-WP/Cape Fear Basin/Little River/Vass)

SETBACKS:
Front=40'
Side=15'
Rear=30'

Edna M. Van Canon
DB 3803 Pg 451
Zoned "B-2"

John & Lori Van Canon
DB 797 Pg 168
Zoned "RA-20"

Robert & Linda Dick
DB 2664 Pg 110
Zoned "RA-20"

Suzanne Van Canon Trustee
DB 5368 Pg 436
Zoned "RA-40"

Ryan & Gina Treask
DB 5754 Pg 114
Zoned "RA-20"

1-R
Southern Golf & Land, LLC
DB 4908 Pg 40
PC 18, Slide 920
Zoned "B-2"

I, MATTHEW A. CALLAHAN, CERTIFY THAT THIS PLAT
WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL
SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION
RECORDED IN BOOK 5604 PAGE 221); THAT THE
BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED
AS DRAWN FROM THE INFORMATION SHOWN, THAT THE
RATIO OF PRECISION AS CALCULATED IS 1: 10,000+;
THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH
G.S. 47-30 AS AMENDED, WITNESS MY ORIGINAL SIGNATURE,
LICENSE NUMBER AND SEAL THIS 14TH DAY
OF FEBRUARY, A.D., 2022.

Matthew Callahan

PROFESSIONAL LAND SURVEYOR P.L.S. L-4149



NOTICE: THIS PROPERTY IS LOCATED
WITHIN A PUBLIC WATER SUPPLY WATERSHED.
DEVELOPMENT RESTRICTIONS MAY APPLY.
I CERTIFY THAT THE PLAT SHOWN HEREON
COMPLIES WITH THE MOORE COUNTY
WATERSHED PROTECTION ORDINANCE AND
IS APPROVED BY MYSELF, AS AN AGENT
FOR THE WATERSHED REVIEW BOARD FOR
RECORDING IN THE MOORE COUNTY
REGISTER OF DEEDS OFFICE.

CERTIFICATE OF LEVEL 1 MINOR SUBDIVISION PLAT APPROVAL

I HEREBY CERTIFY THAT THE MINOR SUBDIVISION SHOWN ON THIS PLAT DOES NOT INVOLVE
THE CREATION OF NEW PUBLIC STREETS OR ANY CHANGE IN EXISTING PUBLIC STREETS OR
CHANGE EXISTING UTILITIES, THAT THE SUBDIVISION SHOWN IS IN ALL RESPECTS IN COMPLIANCE
WITH THE SUBDIVISION REGULATIONS OF MOORE COUNTY, NORTH CAROLINA, AND THAT THEREFORE
THIS PLAT HAS BEEN APPROVED BY THE SUBDIVISION ADMINISTRATOR, SUBJECT TO ITS BEING RECORDED
IN THE MOORE COUNTY REGISTRY WITHIN SIXTY DAYS OF THE DATE BELOW.

DATE _____ SUBDIVISION ADMINISTRATOR _____

DATE _____ WATERSHED ADMINISTRATOR _____

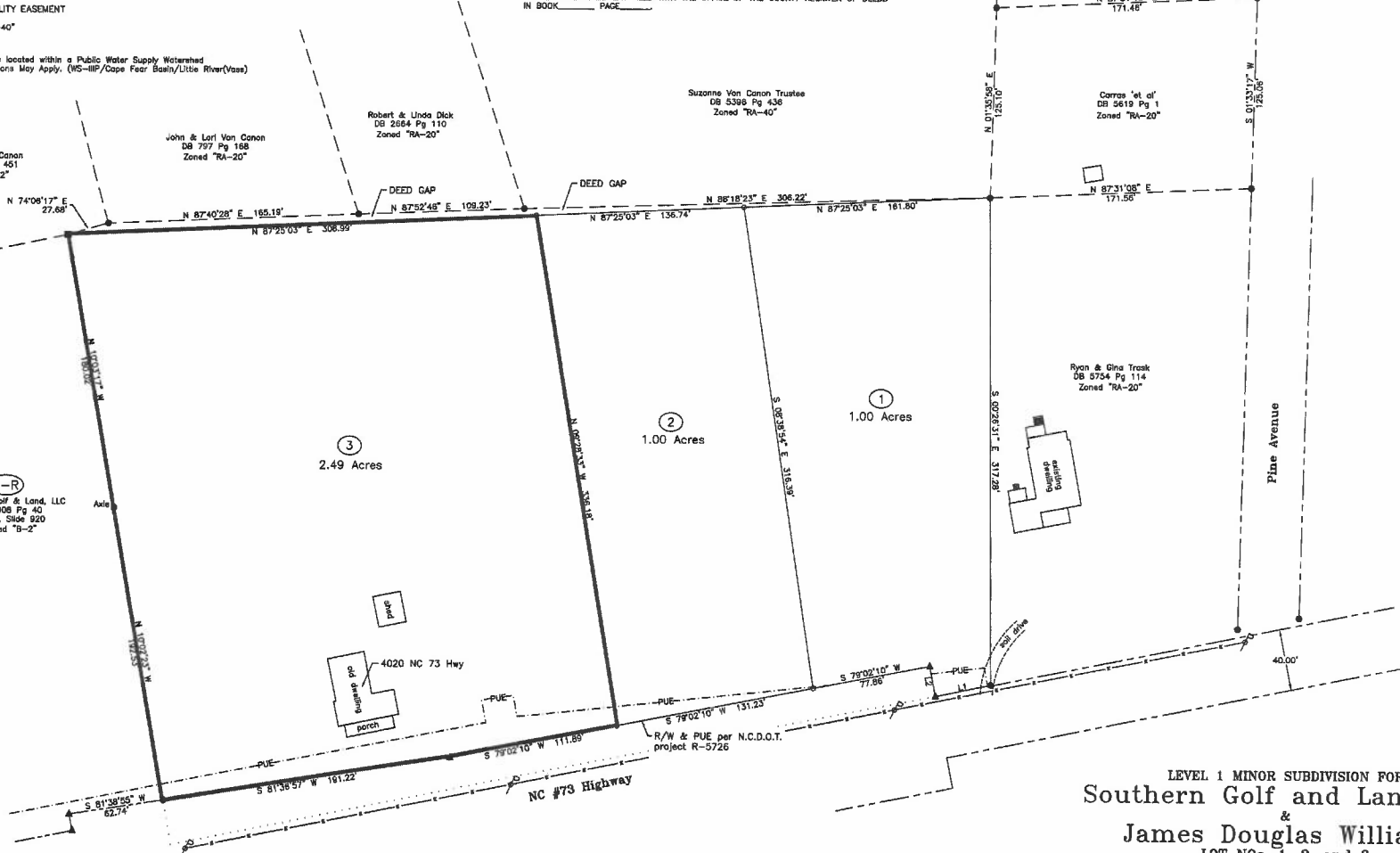
PLANNING DIRECTOR _____

PUBLIC WATER SUPPLY WATERSHED PROTECTION STATEMENT

ALL OR PORTIONS OF THIS PROPERTY CONTAINED IN THIS SUBDIVISION ARE LOCATED
WITHIN A PUBLIC WATER SUPPLY WATERSHED. ADDITIONAL DEVELOPMENT RESTRICTIONS
REGARDING SUCH MATTERS AS RESIDENTIAL DENSITY, MAXIMUM IMPERVIOUS SURFACE AREA
AND STORMWATER CONTROL MEASURES MAY APPLY TO THIS PROPERTY. ANY ENGINEERED
STORMWATER CONTROLS SHOWN ON THIS PLAT ARE TO BE OPERATED AND MAINTAINED BY THE
PROPERTY OWNERS AND/OR A PROPERTY OWNERS ASSOCIATION PURSUANT TO THE OPERATION AND
MAINTENANCE AGREEMENT FILED WITH THE OFFICE OF THE COUNTY REGISTER OF DEEDS
IN BOOK _____ PAGE _____



Scale: 1" = 50'
North Arrow



I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY DESCRIBED HEREON,
WHICH PROPERTY IS WITHIN THE SUBDIVISION REGULATION JURISDICTION OF MOORE COUNTY,
NORTH CAROLINA, AND THAT I (WE) FREELY ADOPT THIS PLAN OF SUBDIVISION.

DATE _____ OWNER(S) _____

MOORE COUNTY, NORTH CAROLINA

STATE OF NORTH CAROLINA
COUNTY OF MOORE

CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS
AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

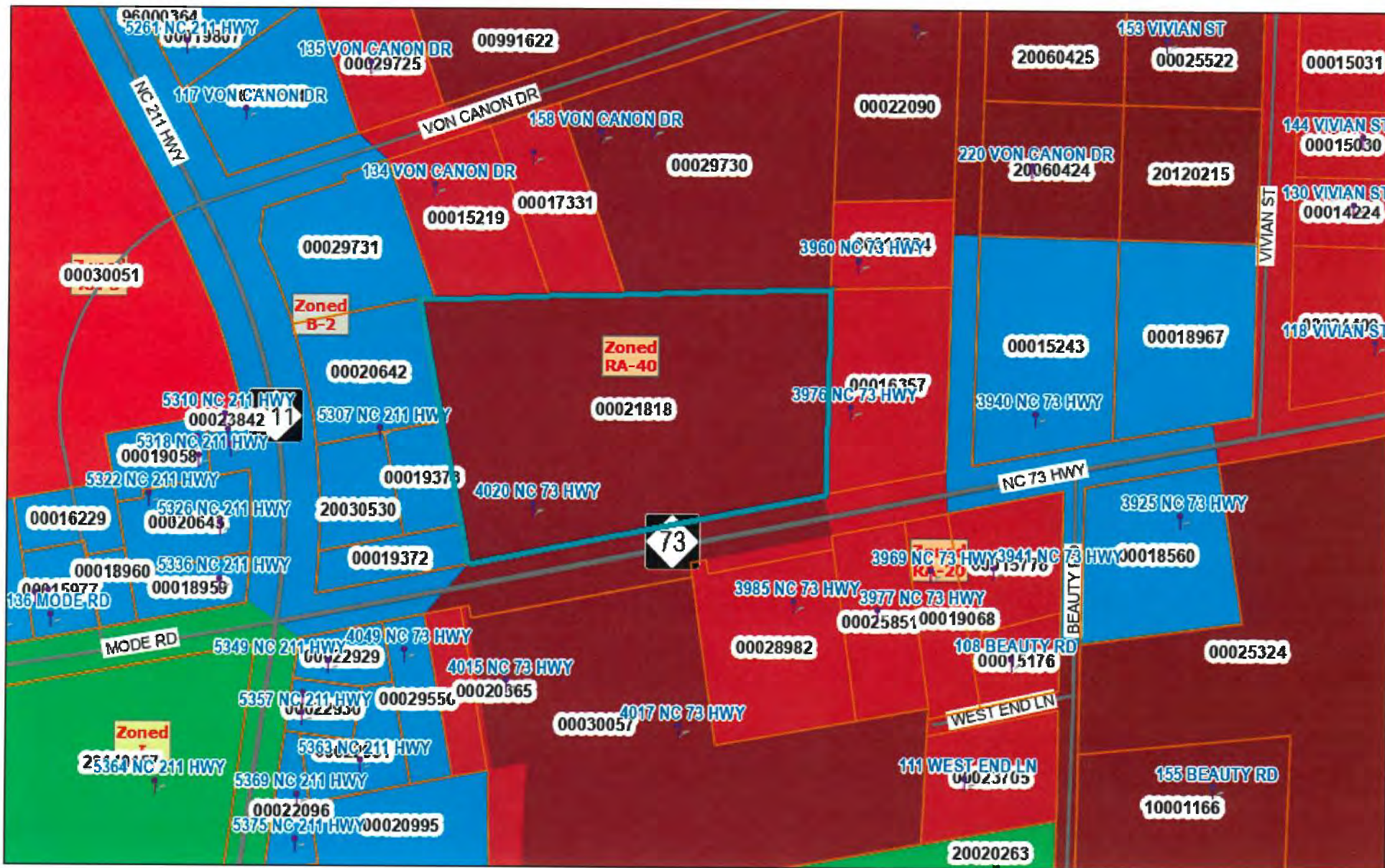
DATE _____ REVIEW OFFICER _____

LEVEL 1 MINOR SUBDIVISION FOR
Southern Golf and Land, LLC
&
James Douglas Williams
LOT NOS. 1, 2, and 3
C.W. Ritter Tract
MINERAL SPRINGS TWP, MOORE COUNTY,
NORTH CAROLINA

OCTOBER 21, 2021 -- SCALE 1"=50'
MATTHEW A. CALLAHAN SURVEYING
P.O. BOX 998, VASS, N.C.
(910)246-8980

Owners Address:
Southern Golf and Land, LLC
215 Surry Circle Drive North
Fayetteville, NC 28374

0 50 100 150



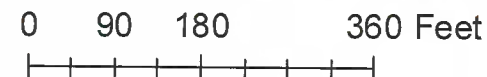
1 inch = 200 feet
February 21, 2022

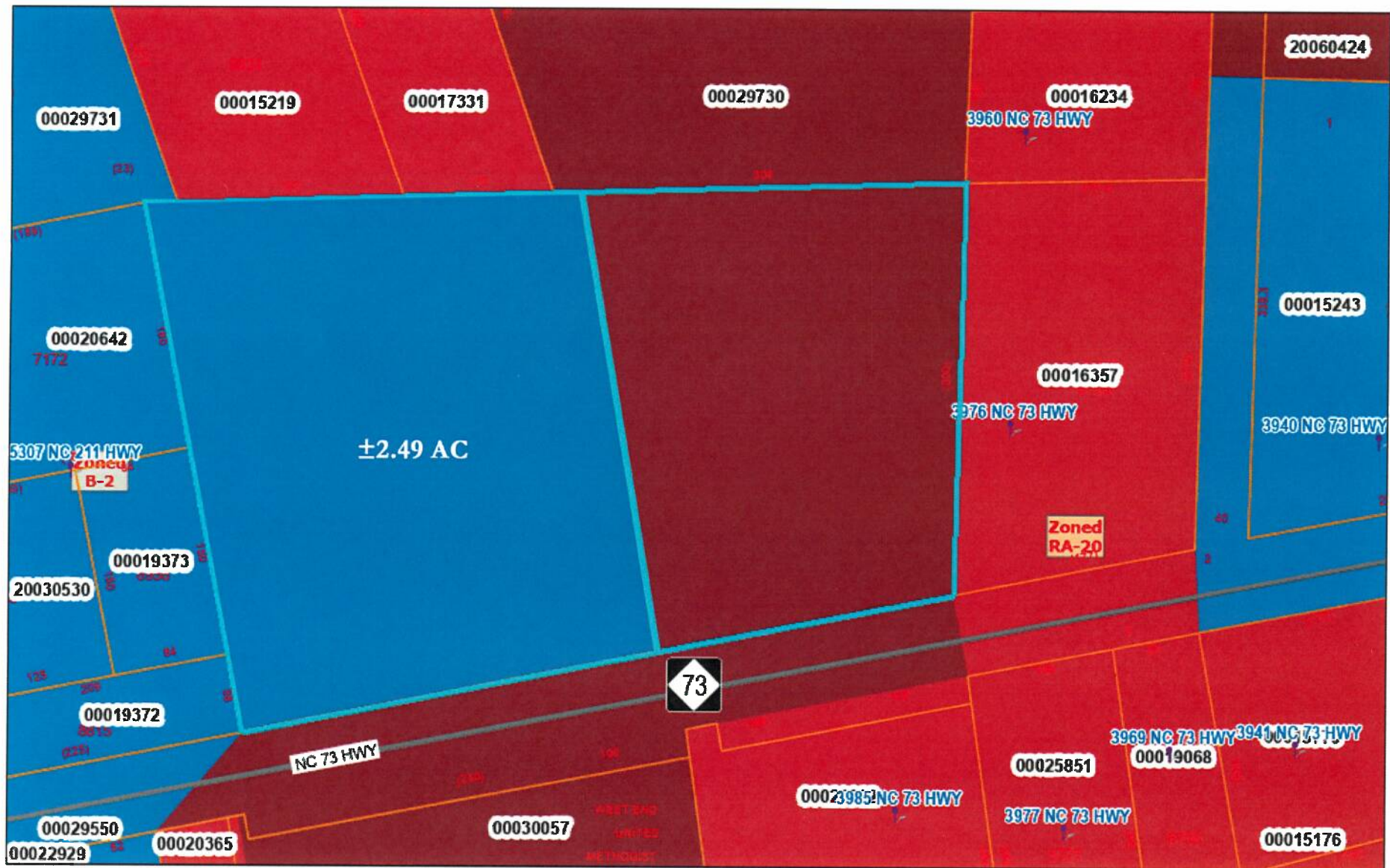


Name: SOUTHERN GOLF AND LAND, LLC

Parcel ID: 00021818

Deeded Acres: 4.9





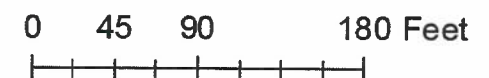
1 inch = 100 feet
February 21, 2022



Name: SOUTHERN GOLF AND LAND, LLC

Parcel ID: 00021818

Deeded Acres: 4.9



CHAPTER 6

TABLE OF USES

6.1 Use Table

- A. Permitted Uses. P = Permitted uses are a use-by-right approved by the Administrator.
- B. Conditional Uses. C = Conditional Use Permit approval required. (Refer to Chapter 12.)
- C. Conditional Zoning. Z = Conditional Rezoning within a parallel conditional zoning district required. (Refer to Chapter 11.)
- D. Building Code Classification.

The “Bldg. Code Group” column is intended for reference purposes only and is subject to change without notice. Classifications should be verified by the Building Inspector and should follow the regulations of the applicable “Use & Occupancy Classification” per the 2012 NC Building Code. Change of uses will require sealed plans to be approved by the Building Inspector.

A = Assembly	M = Mercantile
B = Business	R = Residential
E = Education	S = Storage
F = Factory Industrial	U = Utility & Miscellaneous
H = Hazardous	Mix = Mixed Uses (Separation standards may apply)
I = Institutional	

- E. Prohibited Uses. Blank = Districts in which particular uses are prohibited, unless the Administrator determines that the use is similar to an allowed individual use by applying the following criteria:
 1. The actual or projected characteristics of the activity.
 2. The relative amount of site area or floor space and equipment utilized.
 3. Relative amounts of sales from the activity and customer type for the activity.
 4. The relative number of employees and hours of operation.
 5. Building and site arrangement and likely impact on surrounding properties.
 6. Types of vehicles used, parking requirements, and vehicle trips generated.

When uncertainty exists, the Administrator, after consultation with the County Attorney, shall be authorized to make the interpretation.

ACCESSORY USES & ACCESSORY BUILDINGS	RA-20	RA-40	RA-2	RA-5	GCSL	GCWL	RE	RA-USB	RA	P-C	VB	B-1	B-2	I	Specific Use Standards	Bldg. Code Group
Accessory Uses & Buildings	P	P	P	P	P	P	P	P	P	P	P	P	P	P	8.1	R, S, U

AGRICULTURAL USES	RA-20	RA-40	RA-2	RA-5	GCSL	GCWL	RE	RA-USB	RA	P-C	VB	B-1	B-2	I	Specific Use Standards	Bldg. Code Group
Agricultural Uses and Buildings (Not a Bona Fide Farm)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	8.2	U
Bona Fide Farm	"Bona Fide Farm" exemption status is obtained through the Moore County Planning Department.														8.3	S, U

RESIDENTIAL USES	RA-20	RA-40	RA-2	RA-5	GCSL	GCWL	RE	RA-USB	RA	P-C	VB	B-1	B-2	I	Specific Use Standards	Bldg. Code Group
SINGLE FAMILY HOUSEHOLD																
Accessory Dwelling Located within Stick Built Dwelling	P	P	P	P			P	P	P						8.4	R
Accessory Dwelling Located within Non-Residential Building											P	P	P		8.5	Mix
Accessory Manufactured Home	P	P	P	P			P	P	P						8.6	R
Accessory Stick Built Dwellings	P	P	P	P			P	P	P						8.7	R
Dwellings, Single Family	P	P	P	P	P	P	P	P	P						8.8	R-3
Dwellings, Duplexes	P	P				P	P								8.9	R-3
Family Care Home (6 or less)	P	P	P	P	P	P	P	P	P						8.10	I, R
Home Occupation, Level 1	P	P	P	P	P	P	P	P	P						8.11	R
Home Occupation, Level 2			Z	Z			Z		Z						8.12	R
Manufactured Home	P	P	P	P			P	P	P						8.13	R-3
Manufactured Home Park									Z						8.14	Mix
Personal Workshop / Storage Building	P	P	P	P			P	P	P						8.15	R, S
Planned Unit Development – Mixed Use	Conditional Rezoning to PUD-CZ is required.														8.16	Mix
MULTIFAMILY RESIDENTIAL																
Group Care Facility									Z			C	P		8.17	I, R
Multifamily Dwellings (3 or more units per lot)	Conditional Rezoning to MF-CZ is required.														8.18	R-2
Nursing Home	C	C	C	C					C			P	P		8.19	B, I

COMMERCIAL USES	RA-20	RA-40	RA-2	RA-5	GCSL	GCWL	RE	RA-USB	RA	P-C	VB	B-1	B-2	I	Specific Use Standards	Bldg. Code Group
ANIMAL SERVICES																
Animal Shelter									Z					P	8.20	B
Animal Training Facility, Military									Z					P	8.21	B
Kennels, Overnight									Z			Z	Z	P	8.22	B
Pet Day Care, Grooming, Obedience Training									Z		P	P	P		8.23	B
Veterinary Clinic							P		Z		P	P	P		8.24	B
OFFICES & GENERAL SERVICES																
Automatic Teller Machine (ATM)											P	P	P	P	8.25	U
Beauty / Barber Shop / Nail Salon						P					P	P	P		8.26	B
Bed and Breakfast	Z	Z	Z	Z				Z	Z						8.27	
Dry Cleaning and Laundromat						P					P	P	P	P	8.28	B
Equestrian Cottage							Z								8.29	
Hotel and Motel													P		8.30	R-1
Office											P	P	P	P	8.31	B
Small Appliance Repair Shop											P	P	P	P	8.32	B
Trade Contractor Office and Workshop											P	Z	P	P	8.33	B, S
COMMERCIAL USES	RA-20	RA-40	RA-2	RA-5	GCSL	GCWL	RE	RA-USB	RA	P-C	VB	B-1	B-2	I	Specific Use Standards	Bldg. Code Group
RETAIL SERVICES																
Auction House												P	P	P	8.34	A-3, B
Convenience Store						P			C		P	P	P	P	8.35	M
Feed and Seed Sales							C		C			P	P	P	8.36	B, M
Florist									P		P	P	P	P	8.37	B
Flea Market									Z			Z	P		8.38	B, M
Garden Center											P	P	P		8.39	M, U
Manufactured or Modular Home Sales													P	P	8.40	B
Restaurant						P					P	P	P	P	8.41	A-2
Retail											P	P	P		8.42	M
Shopping Centers													Z	C	8.43	M
Wholesales											C		P	P	8.44	M

COMMERCIAL USES (CONTINUED)	RA-20	RA-40	RA-2	RA-5	GCSL	GCWL	RE	RA-USB	RA	P-C	VB	B-1	B-2	I	Specific Use Standards	Bldg. Code Group
VEHICLE SERVICES																
Boat & RV Storage					P						Z		Z		8.45	S-1
Car Wash or Auto Detailing											P	P	P	P	8.46	B
Commercial Truck Wash												C	P	P	8.47	B
Parking Lot as principal use of lot											P	P	P	P	8.48	S-2
Taxi Service												Z	P	P	8.49	B, A-3
Vehicle, Auto Parts, Tires, Farm Equipment, Boat, RV - Sales, Rental, or Service											P	P	P	P	8.50	B, S-1
Vehicle Service Stations (Gas Stations)											Z	P	P	P	8.51	M
Vehicle Wrecker Service												Z	Z	P	8.52	S-1
ADULT USES																
Adult Gaming Establishments														C	8.53	B
Bars / Tavern											C		P		8.54	A-2
Brewery / Winery									C		P		P	P	8.55	A-2, F
Dance Club, Night Club, Billiard											Z		P		8.56	A-2, A-3
Distillery														P	8.57	F-1
Massage & Bodywork Therapy Practice											P	P	P	P	8.58	B
Pawn Shop											Z		P	P	8.59	B
Sexually Oriented Business														Z	8.60	A-2, M
Tattoo Parlor, Body Piercing													P		8.61	B

EDUCATIONAL & INSTITUTIONAL USES	RA-20	RA-40	RA-2	RA-5	GCSL	GCWL	RE	RA-USB	RA	P-C	VB	B-1	B-2	I	Specific Use Standards	Bldg. Code Group
Cemetery or Mausoleum, Commercial			C	C			C		C			P			8.62	n/a
Cemetery, Family	P	P	P	P	P	P	P	P	P						8.63	n/a
Child Care Facility	C	C	C	P		C	C	C	C		C	P	P		8.64	E, I
Child Care Home Facility	C	P	P	P			C	C	P						8.65	E, R
Colleges, Business & Trade Schools									C				P	P	8.66	B
Funeral Home, accessory crematorium											P	P	P	P	8.67	A-3, B
Government Facility	P	P	P	P	P	P	P	P	P	P	P	P	P	P	8.68	B
Hospital	P	P	P	P	C	C	P	P	P	P		P	P	P	8.69	I
Museums and Art Galleries									C		P	P	P		8.70	A-3
Religious Institutions	P	P	P	P	P		P	P	P	P	P	P	P		8.71	A-3, E
Security Training Facility									C						8.72	B
Schools, Elementary, Middle, High												P	P		8.73	E

RECREATIONAL USES	RA-20	RA-40	RA-2	RA-5	GCSL	GCWL	RE	RA-USB	RA	P-C	VB	B-1	B-2	I	Specific Use Standards	Bldg. Code Group
Accessory, Swimming Pool	P	P	P	P	P	P	P	P	P	P	P	P	P	P	8.74	A, R
Airport, Public or Private									C					Z	8.75	A-3, B
Airstrip, Small Private									C			P			8.76	B
Assembly Hall						Z			Z		Z		Z	P	8.77	A-4, A-5
Camp or Care Centers									P						8.78	A-3, R-1
Campground, Public and Private									P						8.79	A-3, R-1
Camp, Recreation Day									P						8.80	A-3
Civic / Social Club, Lodge, & Organization			P	P	C	C			C		P	P	P		8.81	A-2, A-3
Golf Driving Range					C	C				P			P		8.82	A-3
Golf Course, including Par 3					C	C				P			P		8.83	U
Marina (fuel supplies)					P	P									8.84	M
Neighborhood Park	P	P	P	P	P	P	P	P	P	P	P	P	P	P	8.85	U
Recreation, Indoor											C	C	P		8.86	A-5
Recreation, Low Impact Outdoor		P	P	P	P	P	P	P	P		C	P	P		8.87	A-5
Recreation, High Impact Outdoor									Z		Z		P		8.88	
Shooting Range, Indoor									Z				P		8.89	A-5
Shooting Range, Outdoor									Z				P		8.90	A-5
Zoo, Petting Zoo									Z				P		8.91	A-5, U

INDUSTRIAL USES	RA-20	RA-40	RA-2	RA-5	GCSL	GCWL	RE	RA-USB	RA	P-C	VB	B-1	B-2	I	Specific Use Standards	Bldg. Code Group
PRODUCTION																
Manufacturing & Sales, Pottery									P		P	P	P	P	8.92	F
Manufacturing, Light (no odors, no smoke)														P	8.93	F
Manufacturing, General														Z	8.94	F-1, F-2
UTILITIES / SERVICES																
Amateur Radio and Receive-only Antennas	P	P	P	P	P	P	P	P	P	P	P	P	P	P	8.95	U
Contractors Storage Yard and Office									Z				P	P	8.96	S-1, U
Crematorium Facility													Z	P	8.97	B
Public & Private Utility Facilities	P	P	P	P	P	P	P	P	P	P	P	P	P	P	8.98	U
Solar Collector Facility														C	8.99	U
Solar Collectors, On-Site Use	P	P	P	P	P	P	P	P	P	P	P	P	P	P	8.100	U
Wireless Communication Facility									Z				Z	Z	8.101	U
Collocation on Existing WCF	P	P	P	P			P	P	P	P	P	P	P	P	8.102	U

INDUSTRIAL USES	RA-20	RA-40	RA-2	RA-5	GCSL	GCWL	RE	RA-USB	RA	P-C	VB	B-1	B-2	I	Specific Use Standards	Bldg. Code Group
WAREHOUSING																
Mini-Warehouse (Self-Service)						P					Z	Z	Z	Z	8.103	S
Warehousing and/or Distribution Center									Z				C	P	8.104	S-1, S-2
WASTE RELATED SERVICES																
Debris Management Facility									Z			Z		P	8.105	U
Hazardous Waste /Toxic Chemicals Disposal or Processing														C	8.106	U
Landfill														C	8.107	U
Mining / Quarry Operation									Z					C	8.108	U
Salvage Yard														C	8.109	U

TEMPORARY USES	RA-20	RA-40	RA-2	RA-5	GCSL	GCWL	RE	RA-USB	RA	P-C	VB	B-1	B-2	I	Specific Use Standards	Bldg. Code Group
Construction Office, Temporary	P	P	P	P	P	P	P	P	P	P	P	P	P	P	8.110	S-1
Drop-In Child Care Facility											P	P	P		8.111	
Itinerant Merchant											P	P	P	P	8.112	n/a
Land Clearing	P	P	P	P	P	P	P	P	P	P	P	P	P	P	8.113	F-1
Manufactured Home or RV, Temporary	P	P	P	P			P	P	P						8.114	R-3
Real Estates Office, Temporary	P	P	P	P	P	P	P	P	P	P	P	P	P	P	8.115	S-1
Temporary Events (Special Event)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	8.116	n/a
Yard Sales, Residential and Civic	P	P	P	P	P	P	P	P	P			P	P		8.117	n/a

OTHER USES	RA-20	RA-40	RA-2	RA-5	GCSL	GCWL	RE	RA-USB	RA	P-C	VB	B-1	B-2	I	Specific Use Standards	Bldg. Code Group
Major Subdivision – Residential (1)	C	C						C							18.6-18.11	Mix
Major Subdivision – Non-Residential (Business Park)													C	C	18.6-18.11	Mix

For Registration Register of Deeds
Judy D. Martin

Moore County, NC

Electronically Recorded

April 30, 2021 9:36:21 AM

Book: 5604 Page: 221 - 224 #Pages: 4

Fee: \$26.00 NC Rev Stamp: \$245.00

Instrument# 2021010133

SPECIAL WARRANTY DEED

THIS INSTRUMENT PREPARED BY:

John Hall Greenbacker, Esq.
Lorenz & Creed Law Firm, PLLC
230 N. Bennett Street
Southern Pines, NC 28387

TO BE RECORDED IN THE
DEED RECORDS OF
MOORE COUNTY, NC

Excise Tax: \$ 245.00

THIS DEED made this 28th day of April, 2021, by and between:

<u>GRANTOR</u>	<u>GRANTEE</u>
TRUIST BANK F/K/A BRANCH BANKING AND TRUST COMPANY, AS TRUSTEE OF THE MARY R. LEWIS REVOCABLE TRUST U/A/D SEPTEMBER 13, 1979	SOUTHERN GOLF & LAND, LLC, a North Carolina Limited Liability Company Tax address: 215 Surry Circle Drive North Pinchurst, NC 28374

WITNESSETH:

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, the Grantor, for valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land (referred to in the singular, whether one or more) situated in Moore County, North Carolina, and more particularly described as follows:

See Exhibit "A" attached hereto and incorporated herein by reference for a description of the real property hereby conveyed. The real property described as Exhibit "A" attached hereto is hereby incorporated herein by reference to the same extent as if set forth herein in its entirety.

submitted electronically by "Lorenz & Creed Law Firm PLLC"
in compliance with North Carolina statutes governing recordable documents
and the terms of the submitter agreement with the Moore County Register of Deeds.

This property herein described does not include the primary residence of the Grantor.

And being the same property conveyed to Grantor in instrument recorded in Book 92, Page 649, in the Moore County, North Carolina, Register of Deeds. The attorney preparing this instrument has not searched the title to the real property hereby conveyed and makes no opinion relative to the status of the title to the real property hereby conveyed.

This conveyance is made subject to (i) the lien of the County of Moore for taxes and other assessments for the current year, which taxes or other assessments shall be pro-rated as of the date of closing and which Grantee by acceptance of this deed expressly agrees to pay; (ii) utility easements of record; and (iii) unviolated restrictive covenants of record that do not materially affect the value of the property.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor has done nothing to impair such title as Grantor received, and Grantor will warrant and defend the title against the lawful claims of all persons claiming by, under or through Grantor, other than the exceptions hereinabove set forth.

(remainder of page intentionally left blank)

(signature and notary acknowledgement to follow)

IN WITNESS WHEREOF, the said Grantor has hereunto set their hand and seal the day and year first above written.

Michael Scott Balkcum (SEAL)
 MICHAEL SCOTT BALKCUM, VICE PRESIDENT, WEALTH DIVISION OF BRANCH
 BANKING AND TRUST COMPANY N/K/A TRUIST BANK, AS TRUSTEE OF THE MARY R.
 LEWIS REVOCABLE TRUST U/A/D SEPTEMBER 13, 1979

STATE OF NC
 COUNTY OF Wake

I certify that the following person(s) personally appeared before me this day and (X) I have personal knowledge of the identity of the principal(s); () I have seen satisfactory evidence of the principal's identity, by a current state or federal identification with the principal's photograph in the form of a driver's license; () a credible witness has sworn to the identity of the principal(s); the principal(s) acknowledging to me that he or she voluntarily signed the foregoing document for the purpose stated therein and in the capacity indicated:

Name of Principal(s): Michael Scott Balkcum, Vice President, Wealth Division of Branch Banking and Trust Company n/k/a Truist Bank, as Trustee of the Mary R. Lewis Revocable Trust U/A/D September 13, 1979.

Date: 4/28/2021

ENEIDA MONTANEZ

Notary Public

Wake Co., North Carolina

[SEAL] My Commission Expires Mar. 12, 2024

Eneida Montanez
 Notary Public

Eneida Montanez

Printed or typed name of Notary Public

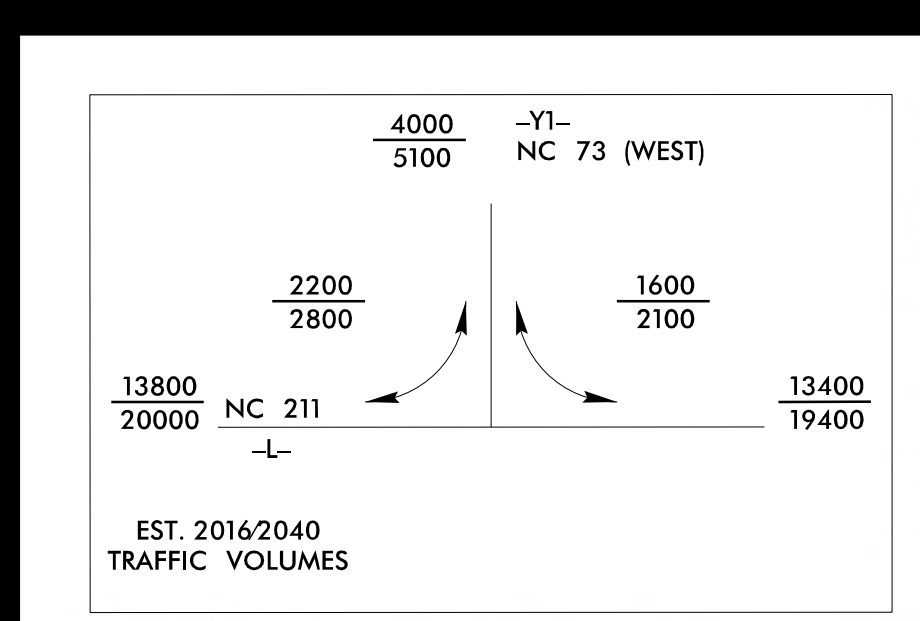
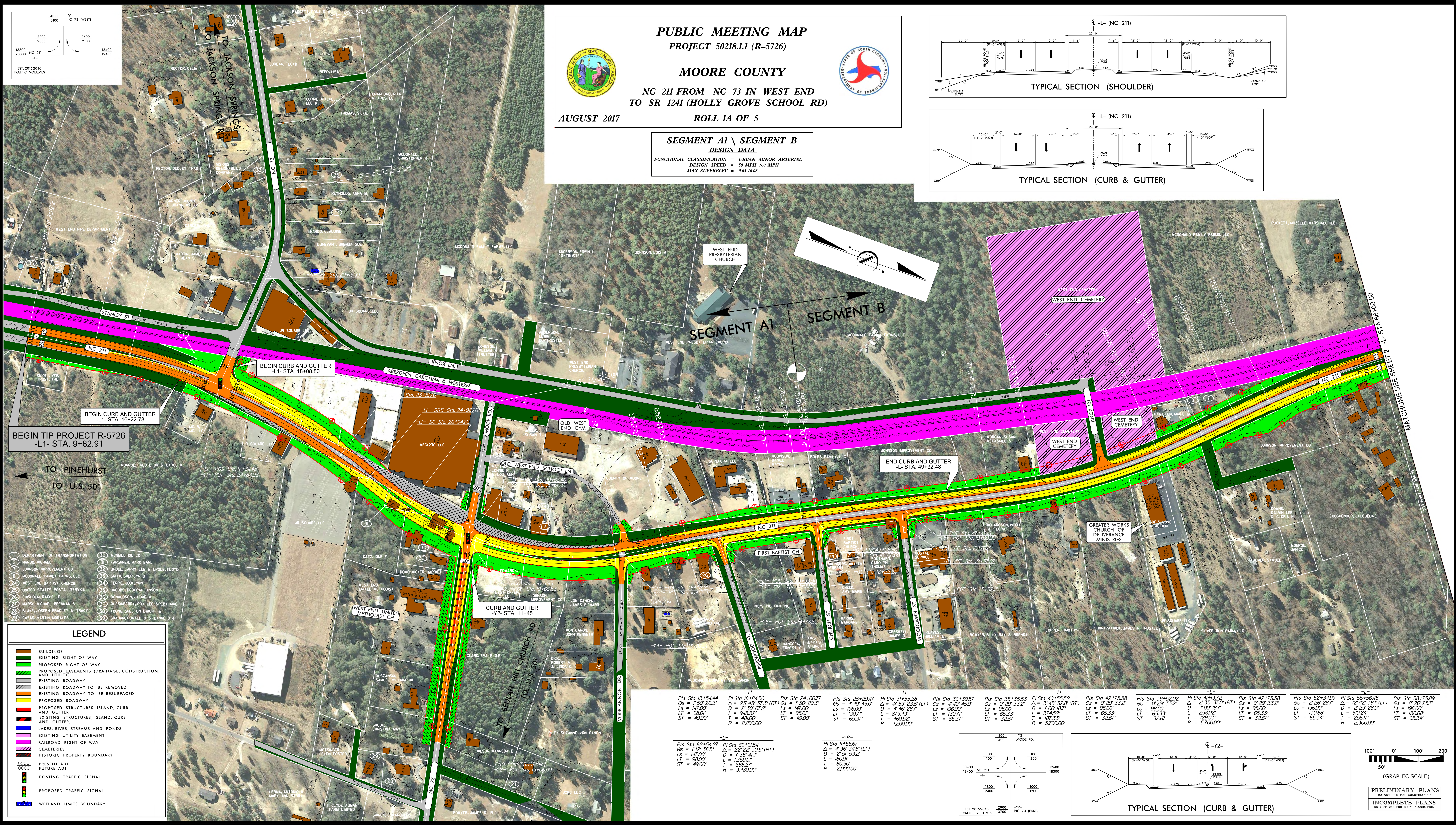
My commission expires: MAR. 12, 2024

NOTARY PUBLIC: Please place an (X) in the space that describes the method of identifying the principal and (--) in the spaces that do not apply.

EXHIBIT "A"

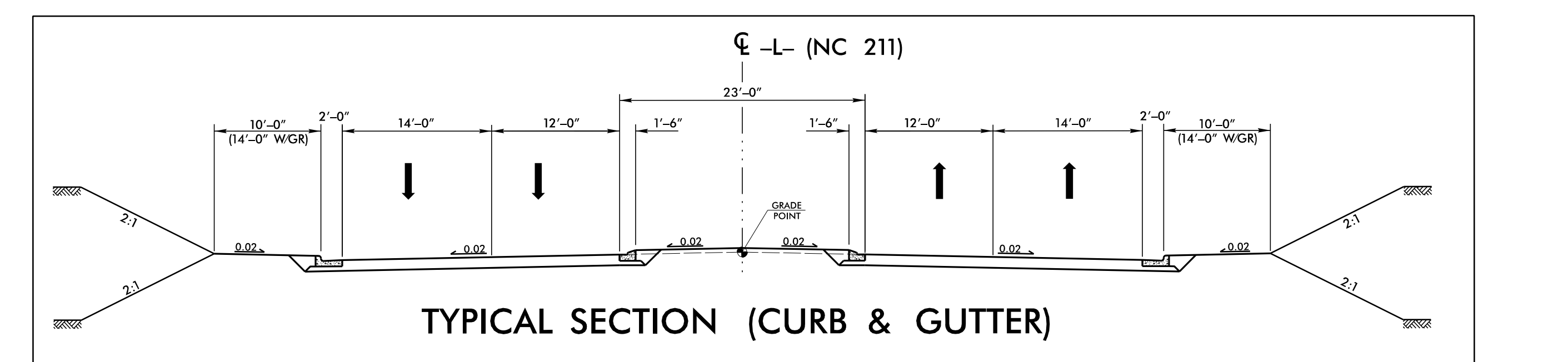
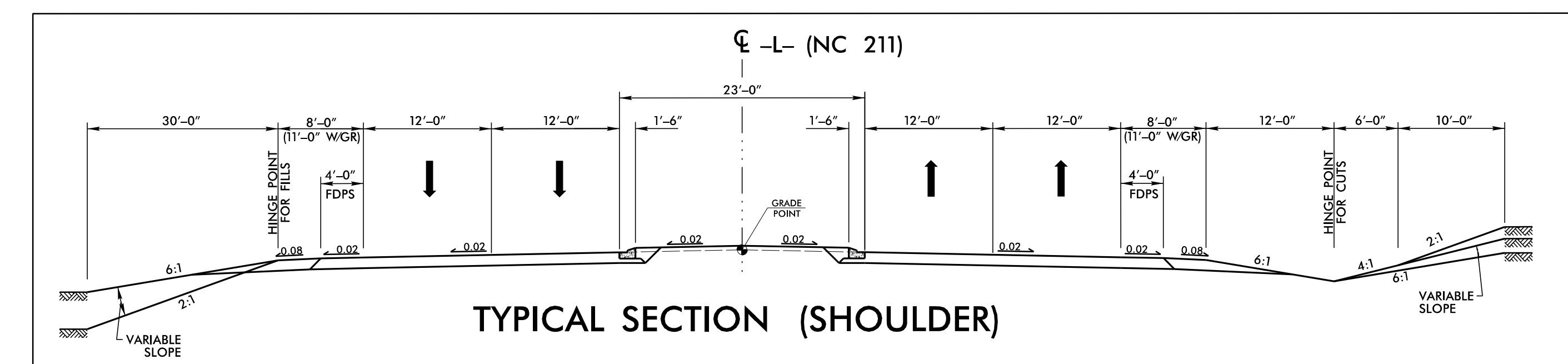
BEGINNING at a stake Mimms' northeast corner of a 2 acre tract of land and runs thence with a line of the Springs land East 11 chains and 91 links to a stake in the Denton land; thence as that line South 4 West 4 chains and 85 links to a stake, Von Canons' corner; thence with his line South 81 West 10 chains and 61 links to a stake; thence North 9 West 6 chains and 60 links to the Beginning, containing 5.9 acres more or less. And being the same land as described in Deed dated December 16, 1911, from D.A. McDonald and wife, Ida A. McDonald, to Charles Ritter, recorded in the Public Registry for Moore County in Book of Deeds 49, at Page 445.

Excepting, However, from the above description a small tract of land deeded to Duncan C. Ritter by Charles Ritter in Deed Book 92, Page 371 and now owned by Glennie McInnis Parrott.



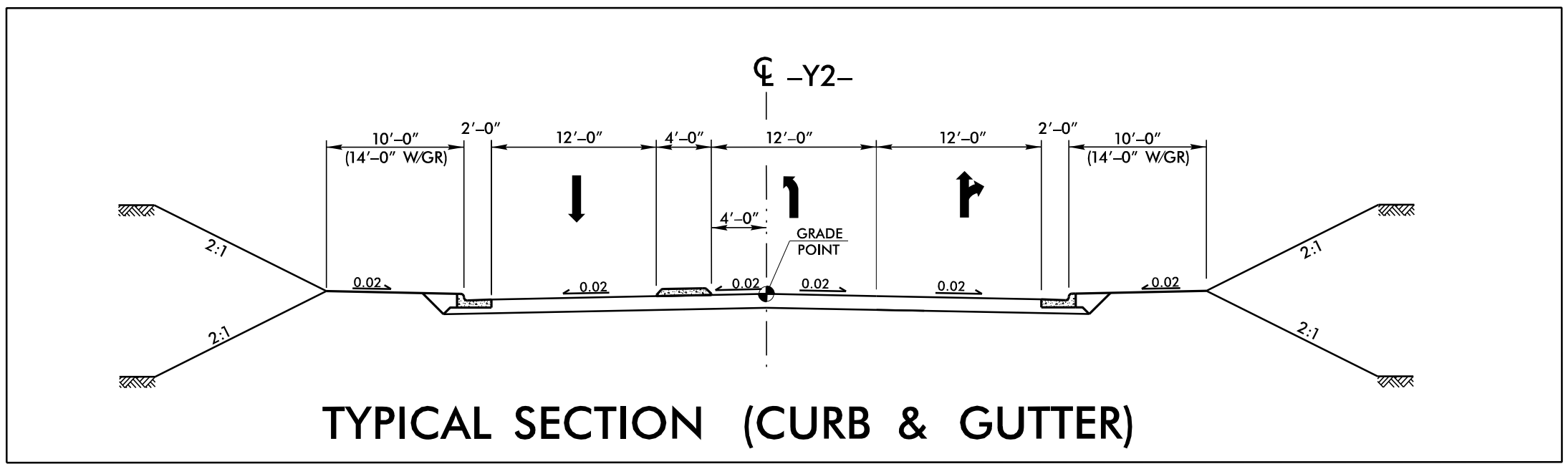
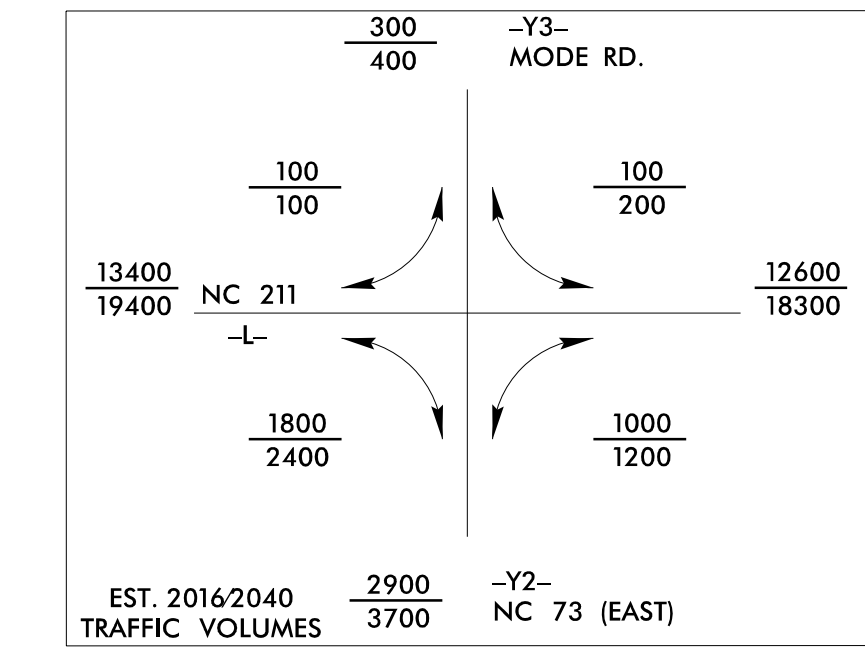
PUBLIC MEETING MAP
PROJECT 50218.1.1 (R-5726)
MOORE COUNTY
NC 211 FROM NC 73 IN WEST END
TO SR 1241 (HOLLY GROVE SCHOOL RD)
AUGUST 2017
ROLL 1A OF 5

SEGMENT A1 \ SEGMENT B
DESIGN DATA
FUNCTIONAL CLASSIFICATION = URBAN MINOR ARTERIAL
DESIGN SPEED = 50 MPH /60 MPH
MAX SUPERELEV = 0.04 /0.08



- LEGEND**
- BUILDINGS
 - EXISTING RIGHT OF WAY
 - PROPOSED RIGHT OF WAY
 - PROPOSED EASEMENTS (DRAINAGE, CONSTRUCTION, AND UTILITY)
 - EXISTING ROADWAY
 - EXISTING ROADWAY TO BE REMOVED
 - EXISTING ROADWAY TO BE RESURFACED
 - PROPOSED ROADWAY
 - PROPOSED STRUCTURES, ISLAND, CURB AND GUTTER
 - EXISTING STRUCTURES, ISLAND, CURB AND GUTTER
 - LAKES, RIVER, STREAMS AND PONDS
 - EXISTING UTILITY EASEMENT
 - RAILROAD RIGHT OF WAY
 - CEMETERIES
 - HISTORIC PROPERTY BOUNDARY
 - PRESENT ADT
 - FUTURE ADT
 - EXISTING TRAFFIC SIGNAL
 - PROPOSED TRAFFIC SIGNAL
 - WETLAND LIMITS BOUNDARY

Pls Sta 13+54.44 Os = 150.203' Ls = 147.00' LT = 98.00' ST = 49.00'	Pls Sta 18+84.50 Os = 23.43 37.3' (RT) Ls = 147.00' LT = 98.00' ST = 49.00'	Pls Sta 24+00.77 Os = 150.203' Ls = 147.00' LT = 98.00' ST = 49.00'	Pls Sta 26+29.47 Os = 44.40 45.0' Ls = 196.00' LT = 130.71' ST = 65.37'	Pls Sta 31+55.28 Os = 44.40 45.0' Ls = 196.00' LT = 130.71' ST = 65.37'	Pls Sta 36+39.57 Os = 44.40 45.0' Ls = 196.00' LT = 130.71' ST = 65.37'	Pls Sta 38+35.53 Os = 0.29 33.2' Ls = 98.00' LT = 65.33' ST = 32.67'	Pls Sta 40+55.52 Os = 3.45 52.8' (RT) Ls = 100.00' LT = 65.33' ST = 32.67'	Pls Sta 42+75.38 Os = 0.29 33.2' Ls = 98.00' LT = 65.33' ST = 32.67'	Pls Sta 39+50.02 Os = 0.29 33.2' Ls = 98.00' LT = 65.33' ST = 32.67'	Pls Sta 41+37.2 Os = 0.29 33.2' Ls = 100.00' LT = 65.33' ST = 32.67'	Pls Sta 42+75.38 Os = 0.29 33.2' Ls = 98.00' LT = 65.33' ST = 32.67'	Pls Sta 52+34.99 Os = 2.26 28.7' Ls = 196.00' LT = 130.68' ST = 65.34'	Pls Sta 55+56.48 Os = 12.42 38.1' (LT) Ls = 229.280' LT = 130.68' ST = 65.34'	Pls Sta 58+75.89 Os = 2.26 28.7' Ls = 196.00' LT = 130.68' ST = 65.34'
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100' 0' 100' 200'
50'
(GRAPHIC SCALE)
PRELIMINARY PLANS
DO NOT USE FOR CONSTRUCTION
INCOMPLETE PLANS
DO NOT USE FOR R/W ACQUISITION